

**RESIDENT/ PROPERTY OWNER NOTICE**  
**WHITPAIN TOWNSHIP ZONING HEARING BOARD**

Whitpain Township Zoning Hearing Board will hold a public meeting on Thursday, February 19, 2026, at 7:00 p.m. at the Whitpain Township Building, 960 Wentz Road, Blue Bell, Pennsylvania, 19422 in order to hear and possibly render decision on the following new matter:

**2484-26 – Steve and Lisa Schafer** for the property located at 1396 Cernan Lane, Blue Bell, PA 19422 requests the following variances from the Whitpain Township Zoning Code to construct a pool cabana: (1) a variance from Section 160-83.C(1) and Section 160-204.D to permit the accessory structure to be located in the side yard; and (2) a variance from Section 160-214.C.(2) to permit a non-green area of 8,762 square feet where a maximum of 8,171.66 square feet is permitted. The Property is in the R-1 Residence Zoning District.

This notice is being mailed to you in accordance with the Township's Zoning Ordinance, including Section 160-240, that requires the mailing or serving notice to the owners or occupiers, if known, of every lot on the same street within 500ft of the property that is the subject of the hearing or, if not on the same street, within 150ft of the subject property.

Copies of the application, exhibits, site plans or other materials received by the Township in connection with the above matter are on file with the Zoning Officer at the Township Building. Paper copies may be requested in writing from the Township at a cost as permitted by law. Applications and plans are also available for review on the Township's website at [www.whitpaintownship.org](http://www.whitpaintownship.org). All hearings will be held in-person and, unless an accommodation has been granted, all applicants, witnesses and individuals seeking to be a party to the proceeding or any individual wanting to provide public comment must be present to participate. Therefore, be advised that only testimony, evidence and public comment made before the Zoning Hearing Board may be considered as part of each hearing. Persons who wish to attend or participate in the above-referenced hearings and require an auxiliary aid, service or other accommodation, please contact the Township ADA Coordinator at 610-277-2400 or send an email to [buildingandzoning@whitpaintownship.org](mailto:buildingandzoning@whitpaintownship.org) within five days of the hearing.

Members of the public who wish to be considered a party to the proceedings may contact Whitpain Township at 610-277-2400 or send an email to [buildingandzoning@whitpaintownship.org](mailto:buildingandzoning@whitpaintownship.org) to request information about the procedure. The Zoning Hearing Board determines at the hearing who may participate in the hearing as a party in accord with Section 908(3) of the Pennsylvania Municipalities Planning Code hereafter referred to as the "MPC." The MPC permits party status to any person or persons "affected" by the Application. Having taxpayer status and/or township resident status alone is not enough to obtain party status; however a person whose property or business

abuts the property that is the subject of the Application is typically deemed to be affected and sufficient for party status. Ultimately, it is the Zoning Hearing Board that makes the party status determination after reviewing the request.

You need not be a party in order to provide comment on an application. The Zoning Hearing Board will hear public comment on each application prior to closing the hearing. Following the close of the hearing, the Zoning Hearing Board will render a decision, unless it deems that additional time is required for consideration and deliberation, in which case it will continue the public meeting to an announced date and time for that purpose.

**ZONING HEARING BOARD  
OF WHITPAIN TOWNSHIP**

Relief If Granted will allow app. to  
Const. a pool cabana in the side yard  
where only the rear yard is permitted, and  
allow a total non green area of  
8702 sqft where only 8171.66 sqft  
is permitted.

**RECEIVED**Case #: **ZHB #2484-26**

JAN 20 2026

 Whitpain Township  
 960 Wentz Road  
 Blue Bell, PA 19422  
 610.277.2400

Codes@WhitpainTownship.org

**WHITPAIN TOWNSHIP**  
**Code Enforcement Department**  
**Zoning Hearing Board Application**

**1. Required Information:**

Applicant Name: Steve and Lisa Schafer  
 Applicant is: ☒ Property Owner ☐ Legal Council ☐ Equitable Owner ☐ Tenant  
 Applicant Address: 1396 Cernan Ln Blue Bell PA 19422  
 Phone: 832-453-0706 Email: Stevschafer@hotmail.com  
 Subject Property Address: 1396 Cernan Ln Blue Bell PA 19422

**2. Application Type (select all that apply):**

☒ Variance ☐ Appeal of the determination of Zoning Officer ☐ Appeal from a Zoning Enforcement Notice  
☐ Special Exception ☐ Request to extend a previously granted variance or special exception prior to expiration  
☐ Other: \_\_\_\_\_

**3. Description of Project and Relief Request in Detail (required):**

Section 160-83.C.1 - We are requesting to place the Cabana in the Side rear yard, not directly behind the house due to limited rear yard space due to existing slopes. The side rear yard provides a more level and suitable location.

**4. Signatures:**

Applicant: \_\_\_\_\_ Date: 1/15/26  
 Property Owner: \_\_\_\_\_ Date: 1/15/26

For Township Use Only	
Fee: <u>\$800.00</u>	Zoning District: <u>R-7</u>
Article: <u>XIV</u>	Section: <u>160-83.C. (1)</u>
Article: <u>XXVIII</u>	Section: <u>160-204 D</u>
Article: <u>XXVII</u>	Section: <u>160-214 C(2)</u>
Article: _____	Section: _____
Article: _____	Section: _____
Reviewed By: <u>TD</u>	Review Date: <u>1/21/26</u>

Revised 01/25

Zoning Hearing Board Application Page 1 of 1



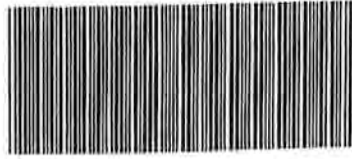
114699



**RECORDER OF DEEDS  
MONTGOMERY COUNTY  
Nancy J. Becker**

One Montgomery Plaza  
Swede and Airy Streets - Suite 303  
P.O. Box 311 - Norristown, PA 19404  
Office: (610) 278-3289 - Fax: (610) 278-3869

**DEED BK 5781 PG 01484 to 01488**  
INSTRUMENT # : 2010087965  
RECORDED DATE: 10/06/2010 12:59:10 PM



2227430-00051

**MONTGOMERY COUNTY ROD**

**OFFICIAL RECORDING COVER PAGE**

Page 1 of 5

**Document Type:** Deed  
**Document Date:** 09/24/2010  
**Reference Info:** rossini-schafer

**Transaction #:** 2139254 - 2 Doc(s)  
**Document Page Count:** 4  
**Operator Id:** kleonard

**RETURN TO: (Mail)**  
WEICHERT CLOSING SER CO  
220 COMMERCE DRIVE  
FT WASHINGTON, PA 19034

**SUBMITTED BY:**  
WEICHERT CLOSING SER CO  
220 COMMERCE DRIVE  
FT WASHINGTON, PA 19034

**\* PROPERTY DATA:**

**Parcel ID #:** 66-00-00848-04-9  
**Address:** 1396 CERNAN LN

**Municipality:** PA 19422  
Whitpain Township (100%)  
**School District:** Wissahickon

**\* ASSOCIATED DOCUMENT(S):**

**CONSIDERATION/SECURED AMT:** \$396,500.00

DEED BK 5781 PG 01484 to 01488  
Recorded Date: 10/06/2010 12:59:10 PM

**FEES / TAXES:**

Recording Fee: Deed	\$65.00
State RTT	\$3,965.00
Whitpain Township RTT	\$1,982.50
Wissahickon School District RTT	\$1,982.50
<b>Total:</b>	<b>\$7,995.00</b>

I hereby CERTIFY that  
this document is  
recorded in the  
Recorder of Deeds  
Office in Montgomery  
County, Pennsylvania.



Nancy J. Becker  
Recorder of Deeds

**PLEASE DO NOT DETACH**  
**THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT**

NOTE: If document data differs from cover sheet, document data always supersedes.  
\*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION.

RECORDED AT DEPT.  
MONTGOMERY COUNTY

2010 OCT -6 AM 10:38

Fee Simple Deed

Prepared by and Return to:

Weichert Closing Services Co.  
220 Commerce Drive  
Fort Washington, PA 19034  
215-643-3317  
vramsay@weichertfinancial.com  
WCS-114699

MONTGOMERY COUNTY COMMISSIONERS REGISTRY  
66-00-00848-04-9 WHITPAIN  
1396 CERNAN LN  
ROSSINI MICHAEL A & LORI L  
B 003D U 041 L 41 1101 DATE 10/06/2010  
\$10.00  
BR

PARCEL: 66-00-00848-049

**THIS INDENTURE, MADE THE 24th day of September, 2010**

**BETWEEN**

**Michael A. Rossini and Lori Lynn Rossini, husband and wife**

(hereinafter called the Grantor(s)), of the one part, and

**Stephen Schafer and Lisa Brogan**

(hereinafter called the Grantee(s)), of the other part,

WITNESSETH That the said Grantor(s) for and in consideration of the sum of THREE HUNDRED NINETY SIX THOUSAND FIVE HUNDRED AND 00/100 DOLLARS (\$396,500.00) lawful money of the United States of America, unto it well and truly paid by the said Grantee(s), at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, released and confirmed, and by these presents does grant, bargain and sell, release and confirm unto the said Grantee(s), his/her/their heirs and assigns, as tenants by the entirety

See Exhibit A Attached Hereto and Made a Part Hereof

RECEIVED OCT 06 2010

To Whitpain Township,

I am aware of Steve and Lisa Schafer's plans to put in a pool (and related structures) at 1396 Cernan Lane which include two variances:

- 1) Structures which are too close to the property line (prior to the deeding of the former top of McDivitt Dr).
- 2) A pool shed (with bathroom, changing room, and storage) which is not behind the plane of the house

I am signing this letter to let you know that I support of these plans.

Best,



Pat Hanks  
1370 Cernan Lane  
Mews neighborhood board member


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Best,

A handwritten signature in black ink, appearing to read "Matthew Fegarsky", with a stylized flourish at the end.

Matt Fegarsky  
1322 Cernan Lane  
Mews neighborhood board member



To Whitpain Township,

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Best,



Geoff Jones

1372 McDivitt Drive

Mews neighborhood board member

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We are signing this letter to let you know that we support of these plans.

Best,



Jeff Zhu and June Li  
1390 Cernan Lane  
Direct next door neighbors (to the southwest)



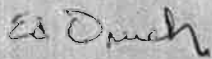
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We are signing this letter to let you know that we support of these plans.

Best,



Ed and Lucy Ourch  
1391 McDivitt Drive  
Direct next door neighbors (to the northeast)

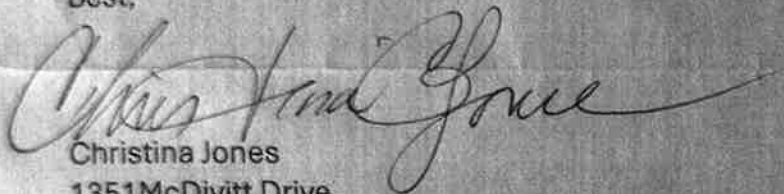
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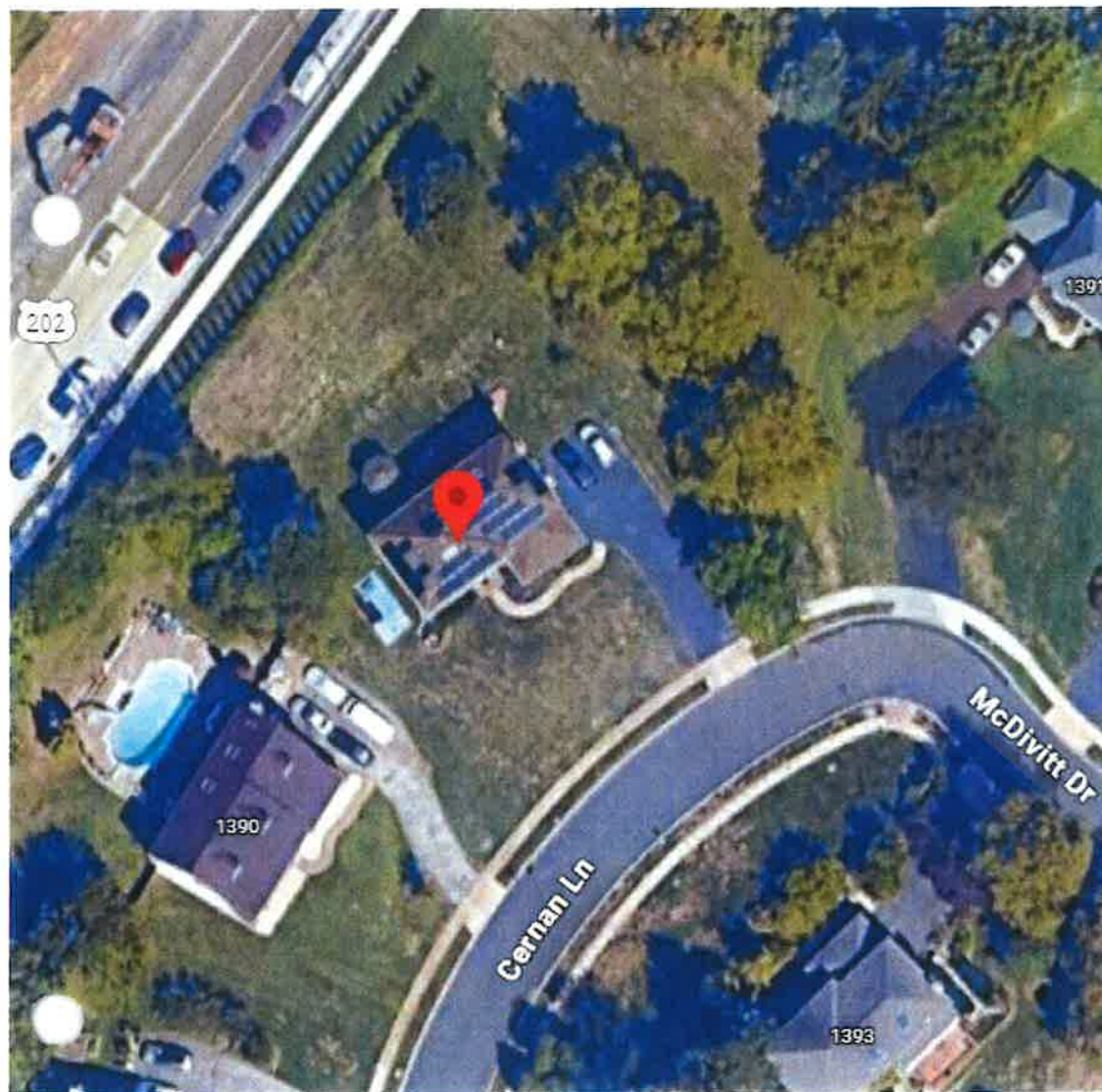
A handwritten signature in cursive script, appearing to read "Christina Jones", written in dark ink.

Christina Jones

1351 McDivitt Drive

Mews neighborhood board member





1396 Cernan Ln  
Blue Bell, PA  
19422













2 Pool lights  
LED bubbler in sunshelf

10' Extra long deep  
end bench

15' Garden ride slide mtn. w/  
waterfall, maya steps. NO IN  
POOL BENCH FOR GROTTO.  
GROTTO LID ROCK TO BE SET  
HIGHER AND AS FAR PAST  
COPING EDGE AS POSSIBLE.  
POUR CONCRETE PAD INSIDE  
FOR GROTTO.

J-Box

Scale: 1/10" = 1'

Electric auto cover w/  
aluminum lid

Badu swim jet

Landscape lighting:  
16 path lights  
2 bullet lights  
1 - 300 watt trans

## Pool Depth Profile



### Pool

51' x 18'

138'

756 ft<sup>2</sup>

28,173 gallons

Pebble

Tile, Blue Slate

142 ft<sup>2</sup>

Bullnose Brick

### Sunshelf

162 ft<sup>2</sup>

Pebble

### Pool Deck

1950 ft<sup>2</sup>

Stamped Concrete

### Deck Drain

50'

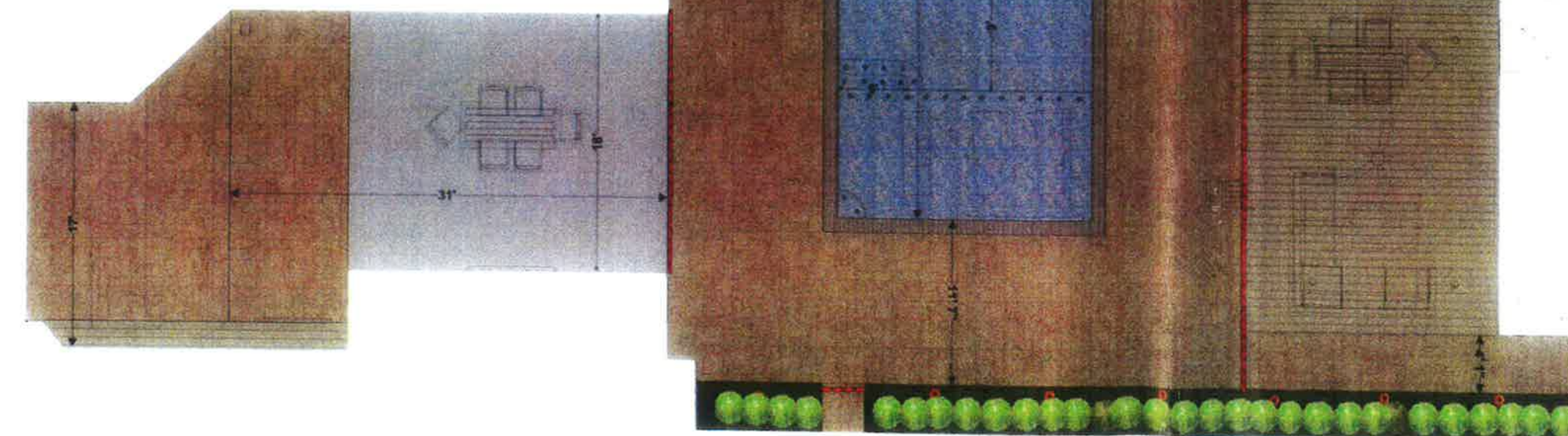
### 54" High Aluminum Fence

1 - 4' Gate + 2 - 8' Gates

640'

140 lf - 3'6" High boulder wall  
30 lf - 1' High boulder wall

Volleyball net  
Designer series 44" handrail  
2 - Umbrella cups



All plant  
and arol



Arista Pool & Spa  
11 Crosskeys Road  
Collegeville, PA 19426

610-489-6000  
www.aristapools.com

## Project Info

Steve Schafer

steveschafer@hotmail.com

832-453-0706

1396 Cernan Lane

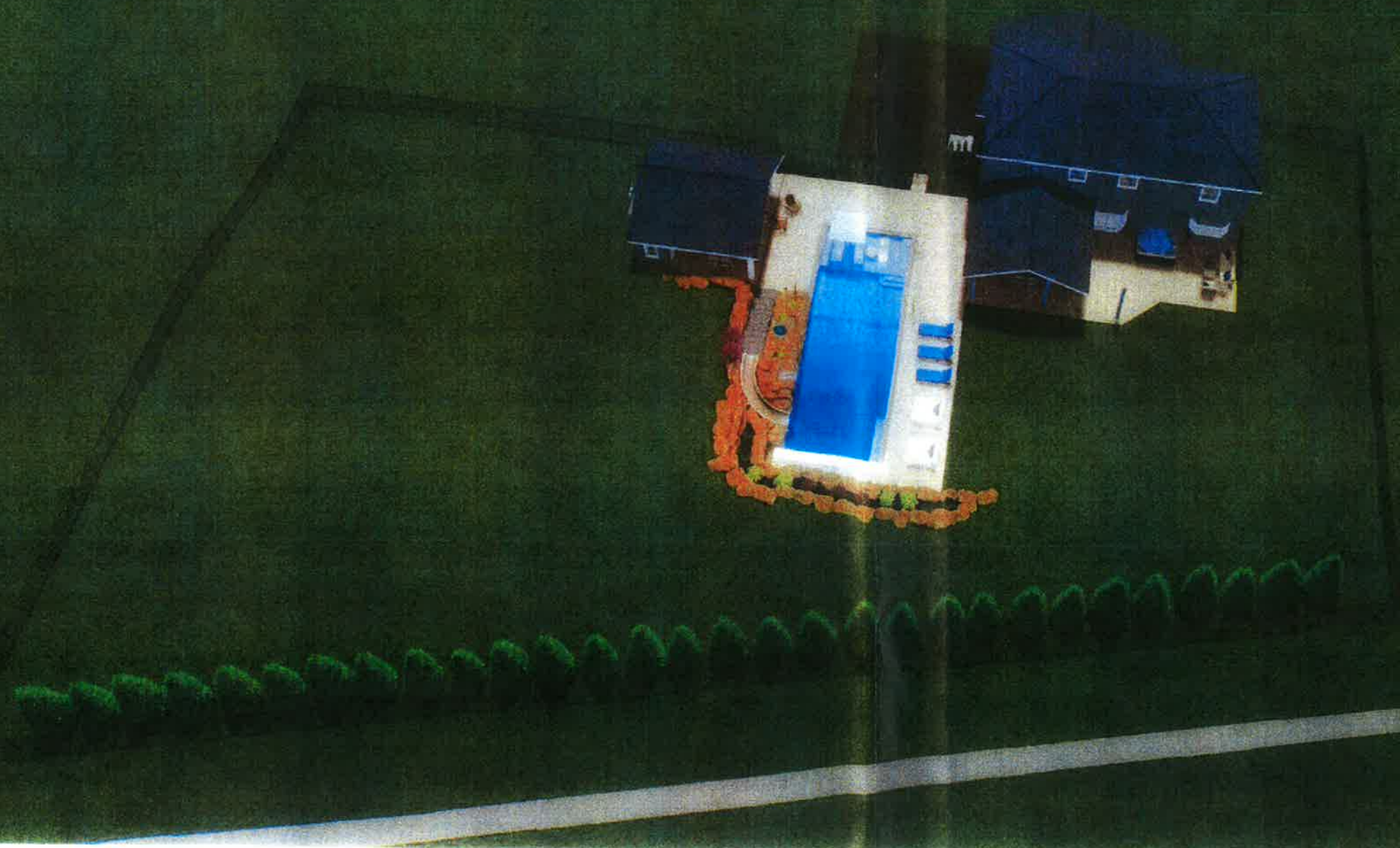
Blue Bell

PA

19422

Whitpain Township, Montgomery County













SN#Contractor to obtain



## CALL BEFORE YOU DIG

PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE AND 10 WORKING  
DAYS IN DESIGN PHASE - STOP CALL

PENNSYLVANIA ONE CALL SYSTEM, INC.

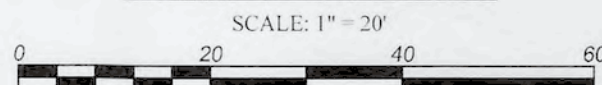
1-800-242-1776

## LEGEND

	DESCRIPTION
	NPDES PERMIT AREA (0.00 ACS)
	LIMIT OF DISTURBANCE (8,625 s.f.)
	SURFACE CONTOURS
	SANITARY SEWER
	STORM SEWER
	GAS LINE
	OVERHEAD ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	WATER LINE
	COMMUNICATIONS LINE
	UTILITY EASEMENT
	UTILITY POLE
	STORMWATER CATCH BASIN
	SANITARY SEWER MANHOLE
	SANITARY CLEANOUT
	CULVERT
	FIRE HYDRANT
	LIGHT POLE
	PROPERTY LINE
	BUILDING
	PAVED ROAD
	GRAVEL ROAD
	ROAD SHOULDER
	ROAD RIGHT-OF-WAY
	GUIDE RAIL
	CHAIN LINK FENCE
	TREELINE
	STREAM
	LAKE/POND
	WETLANDS
	COLLECTION DITCH
	DIVERSION DITCH
	SWALE
	CONCRETE PAVEMENT/WALKWAY
	RIPRAP
	GEO-TECHNICAL BOREHOLE
	INFILTRATION TEST PIT
	SOIL TYPE AND BOUNDARY



EXISTING CONDITIONS



VICINITY MAP

SCALE: 1\"/>



## SURVEY NOTES:

- This plan is drawn from a survey completed in November of 2024.
- Existing above-grade and below-grade utilities have been shown in accordance with the best available information. Underground utilities are shown according to information provided by others and must be field verified prior to construction, excavation or blasting. The actual locations of these utilities have not been field verified and the locations are approximate. Clark Surveying + Engineering, LLC does not make any representation, warranty, assurance, or guarantee that the underground utility location provided by others and reflected on these drawings are correct and accurate. Clark Surveying + Engineering, LLC assumes no responsibility for any damages incurred as a result of utilities omitted or inaccurately shown.
- Any revisions to these plans after the date of plan preparation or latest revision date shall not be the responsibility of Clark Surveying + Engineering, LLC.
- No one shall scale from these plans for construction purposes.
- Vertical Datum: NAVD 88 Vertical Reference: (Topnet)
- Horizontal Datum: NAD83 Horizontal Reference: (Topnet)
- North Reference: NAD 83 PA South-Grid North
- There is no 100 Year Flood Plain on-site per National Flood Insurance Program - Flood Insurance Rate Map number 42091C0270G, Effective date of March 2, 2016.
- There are no wetlands present on site according to the (NWI) National Wetland Inventory Mapping. (A detailed wetlands study was not completed as part of this plan)
- Contractor is responsible for contacting Pennsylvania One Call System, Inc. a minimum of 3 working days notice for construction phase and 10 working days notice in design phase.

## ZONING NOTES:

Whitpain Township - This lot is part of the Mews at Blue Bell Subdivision, Record A-50, Pg 279.

R-7 Zoning District

Zoning Information shown below per the approved subdivision plan.

Minimum Lot Area:	15,000 s.f.
Minimum Lot Frontage:	100 feet at building setback line
Minimum Front Yard:	50 feet
Minimum Rear Yard:	50 feet
Minimum Side Yard:	45 feet aggregate, 20' min one side
Maximum Impervious Coverage:	14,212 s.f.
Maximum Building Height:	35 feet
Accessory Building Setback:	5' side and rear

Net Lot Area: 32,121 s.f. or 0.7374 Acres

Existing:		Proposed:	
Residence:	2,000 s.f.	Pool Water Surface:	918 s.f.
Driveway:	1,837 s.f.	Pool Coping:	142 s.f.
Front Walk/Stoop:	231 s.f.	Pool Cabana:	576 s.f.
Rear Patio Deck:	649 s.f.	Pool Rock/Slide Feature:	815 s.f.
Retaining Wall:	13 s.f.	Pool Deck:	1,259 s.f.
		Pool Utility Pad:	40 s.f.
		Walkway:	37 s.f.
		Well at walkway:	10 s.f.
		Roofed Patio:	405 s.f.
		Additional Patio:	479 s.f.
		Subtotal:	4,681 s.f.
		Existing Patio Deck to be removed:	- 649 s.f.
		Total:	4,032 s.f.
			12.55 %

Percent of total impervious surfaces existing: 4,730 s.f. / 32,121 s.f. = 14.73%  
Percent of total impervious surfaces existing & proposed: 8,762 s.f. / 32,121 s.f. = 27.28%  
Impervious area allowed per record plan: 14,212 s.f.

## CONSTRUCTION SEQUENCE:

- Install silt fence where indicated on plan. Silt fence must be placed around all erosion prone and earth disturbed areas by the contractor before construction. Install orange protection fence around area to be used for the stone infiltration trench to protect it from compaction.
- Construct the temporary construction access with rock construction entrance off of the existing driveway. Clean all silt off the construction vehicles before entering public road. The contractor should verify with the Township if a road access permit is required.
- Strip topsoil and stockpile at designated area.
- Install protective fence around proposed rain garden area.
- Excavate pool area placing fill down gradient to proposed pool area. Fill shall be placed in 12" lifts, loose depth and compacted. Fill shall be free of deleterious material.
- Construct pool, decking and appurtenances.
- Haul all excess excavation off the lot.
- Finish grade disturbed areas and stabilize immediately. All topsoil shall be retained on site.
- Install stone infiltration trench per these plans and stabilize immediately.
- Upon stabilization of disturbed areas, remove erosion control measures.
- Areas redisturbed shall be stabilized immediately.
- Pool contractor shall be responsible for the final stabilization of the site.

## LOT ADDITION INFORMATION

- The existing property is 32,121 s.f. in size. Lot Addition A is 14,722 s.f. This brings the new lot size to be 46,843 s.f.
- This information is based on the record plat for the existing lot, along with a possible lot change per the homeowner and their dealings with PennDOT and Whitpain Township due to relocating Cernan Lane access to DeKalb Pike.
- This information is subject to change until a final plan between the homeowner and PennDOT is reviewed and approved.

## STORMWATER PAYMENT-IN-LIEU OPTION

The property owner is planning to provide a payment-in-lieu instead of providing a stormwater management facility upon approval by the Township. The appropriate payment-in-lieu amount will be based on Section 125-30.C of the Whitpain Stormwater Management Ordinance.

## ENGINEER'S CERTIFICATION

I, Ryan K. Clark, on December 12, 2025, hereby certify that the stormwater management plan meets all design standards and criteria of the Whitpain Township Stormwater Management Ordinance.

## VARIANCE REQUEST:

Section 160-83.C.1 of the Whitpain Code states the accessory structure needs to be located in the rear yard only. The variance request is to allow the cabana to be located in the side rear yard, not located directly behind the house due to limitations on rear yard space due to existing slopes in the rear yard directly behind the house.



## Apex Companies, LLC

83 East 5th Avenue,  
Suite 2

Everett, Pennsylvania 15537

Phone: (814) 652-1039

www.apexcos.com

## POOL PERMIT PLAN

## STEPHEN & LISA SCHAFER

1396 Cernan Lane

Blue Bell, Pennsylvania 19422

Pared ID: 66-00-00848-04-9

Whitpain Township

Montgomery County, Pennsylvania

REVISION

ADDRESS EMAIL REVIEW COMMENTS 1/6/2026

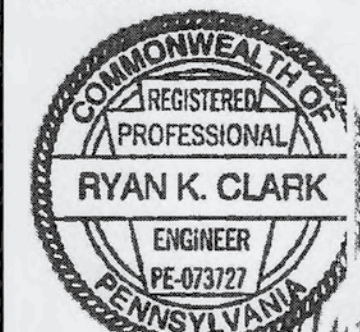
DATE

01/14/2026

NO

1

PROFESSIONAL SEAL



of Apex Companies, Inc. JANUARY 14, 2026

DATE: 12/12/2025

PROJECT NO: ARI008-0628200-25013589

FOLDER NAME: CAD

CAD DWG FILE: Plan Sheets.dwg

DRAWN BY: PIK

CHECKED BY: RKC

SCALE: AS SHOWN

COPYRIGHT:  
All drawings and specifications remain the property of Apex Companies, LLC. These drawings and specifications shall not be duplicated, reproduced, or revised without the written consent of Apex Companies, LLC. Any revision, addition, or deletion from the scope, design, or intent by persons other than Apex Companies, LLC will release Apex Companies, LLC from any responsibility, legal action, litigation, or liability claims related to the project.

POOL PERMIT PLAN

C-100



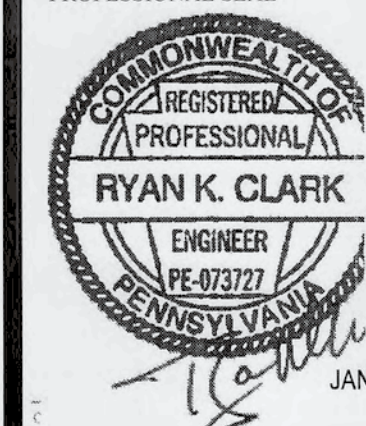


## POOL PERMIT PLAN

**STEPHEN & LISA SCHAFER**  
1396 Cernan Lane  
Blue Bell, Pennsylvania 19422  
Parcel ID: 66-00-00848-04-9  
Whitpain Township  
Montgomery County, Pennsylvania

[illegible]

PROFESSIONAL SEAL



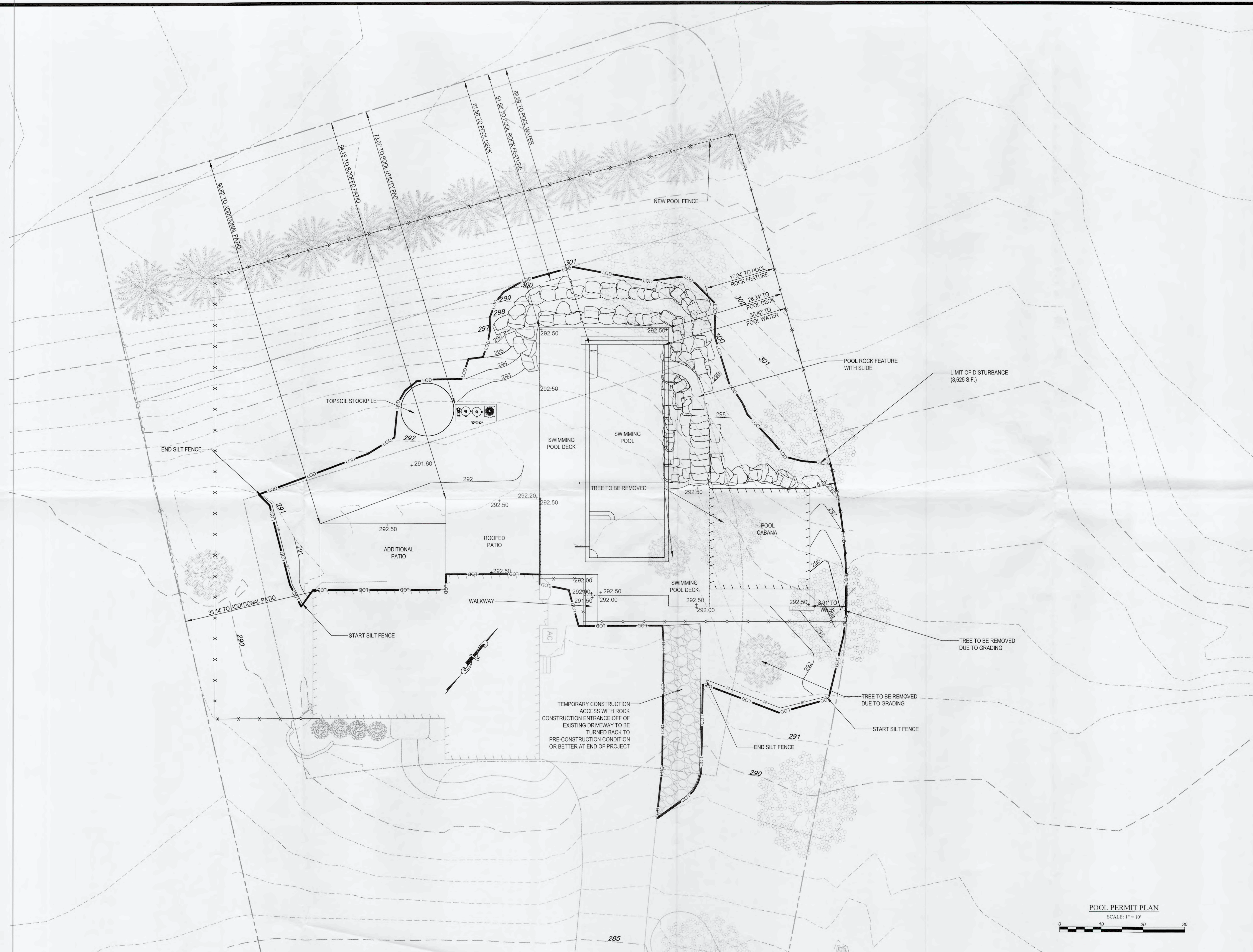
DATE:	12/12/202
PROJECT NO:	ARI008-0628200-2501358
FOLDER NAME:	CAD
CAD DWG FILE:	Plan Sheets.dwg
DRAWN BY:	PJH
CHECKED BY:	RKH
SCALE:	AS SHOWN

**COPYRIGHT:**  
All drawings and specifications remain the property of Apex Computer, LLC. These drawings and specifications shall not be duplicated, reproduced, or revised without the written consent of Apex Computer, LLC. Any revision, addition, or deletion from the scope, design, or intent by persons other than Apex Computer, LLC will relinquish Apex Computer, LLC from any responsibility, legal action, litigation, or liability claims related to the project.

---

POOL PERMIT PLAN

**C-101**



WAG Location: W:\Clients\ARC08 - Arista Pools 2022\2021\3559-Arista Pools - C:\01-Lvl2-Design\Plan Sheets.dwg Plotted By: Paul Kendall



EROSION & SEDIMENTATION CONTROL NOTES:

- Erosion and sedimentation controls must be constructed, stabilized and functional before site disturbance within the tributary areas of these controls.
- After final site stabilization has been achieved, temporary erosion and sedimentation controls must be removed, areas disturbed during removal of the controls must be stabilized immediately.
- Filter fabric fence must be installed at level grade. Both ends of each fence section must extend at least ten feet upslope at 45 degrees to the main fence alignment.
- Sediment must be removed when accumulations reach half the above ground height of the fence.
- Any fence section which has been undermined or topped must be immediately replaced with a rock filter outlet. See Rock Filter Outlet detail.
- Stockpile heights must not exceed 35 feet. Stockpile slopes must be 2:1 or flatter.
- Any disturbed area, on which activity has ceased, must be stabilized immediately in accordance with permanent seeding specification. During non-germinating periods, mulch must be applied at the recommended rates.
- Diversions, channels, sedimentation basins, sedimentation traps and stockpiles must be stabilized immediately.
- Hay or straw mulch must be applied at rates of at least 3.0 tones per acre.
- Until the site is stabilized, all erosion and sedimentation controls must be maintained properly. Maintenance must include inspections of all erosion and sedimentation controls after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, remulching and renetting, must be performed immediately.
- Should unforeseen erosive conditions develop during construction, the contractor shall take action to remedy such conditions and to prevent damage to adjacent properties as a result of increased runoff and/or sediment displacement. Stockpiles of wood chips, hay bales, crushed stone and other mulches shall be held in readiness to deal immediately with emergency problems of erosion.
- The contractor is advised to become thoroughly familiar with the provisions of Appendix 64, Erosion Control Rules and Regulations, Title 25, Part 1, Department of Environmental Protection.
- Protection to existing trees and shrubs shall be taken by the contractor to eliminate unnecessary damage.
- Any bare-earth areas where earth moving has ceased must be permanently stabilized immediately.
- All swales shall be protected with erosion control blankets.

TEMPORARY SEEDING:

Lime:	190 LBS/1000 SF Ground limestone incorporated 4 inches into soil
Fertilizer:	25 LBS/1000 SF 10-20-20 incorporated 4 inches into soil
Seed:	1.0 LBS/1000 SF Annual Ryegrass
Mulch:	140 LBS/1000 SF Straw Mulch

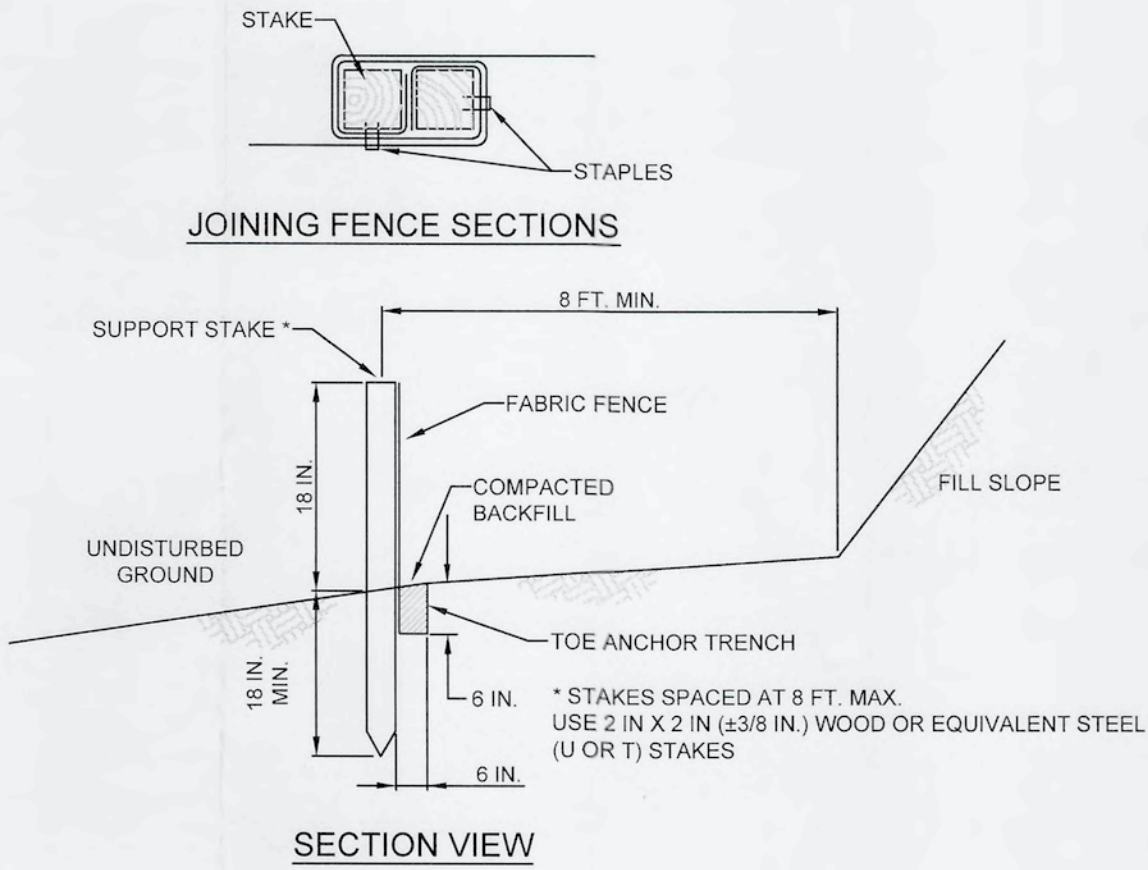
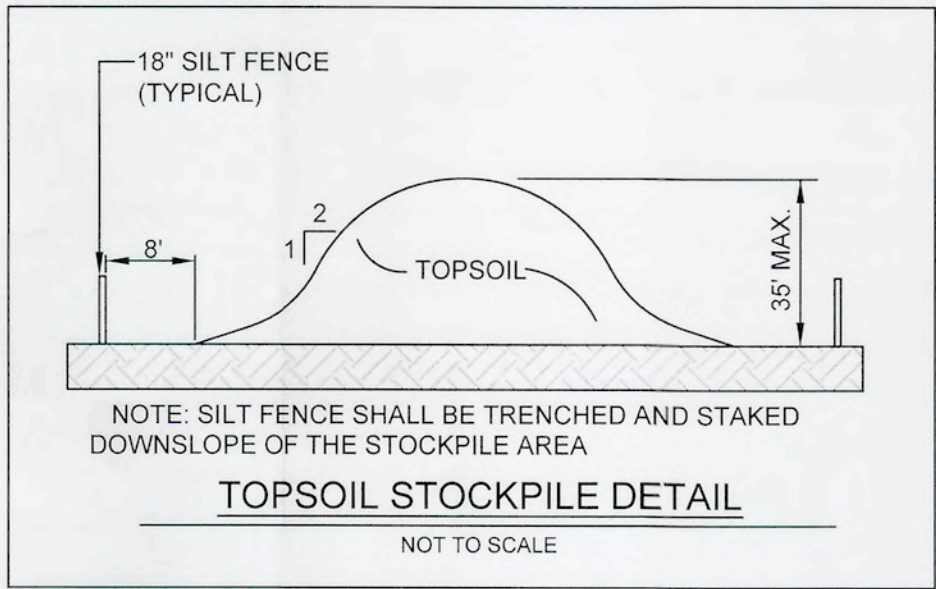
Minimum standard for limestone and fertilizer:  
Limestone shall be applied at a rate of 1 ton per acre.  
Fertilizer shall be applied at a rate of:

Nitrite Nitrogen:	30 LBS/Acre average
Phosphorous:	100 LBS/Acre average
Potassium:	120 LBS/Acre average

PERMANENT SEEDING:

Lime:	190 LBS/1000 SF Ground limestone incorporated 4 inches into soil
Fertilizer:	25 LBS/100 SF 10-20-20 incorporated 4 inches into soil
Seeding:	Lawn and mowed areas: Kentucky Bluegrass - 30 LBS/AC Redtop - 3 LBS/AC Perennial Ryegrass - 20 LBS/AC Total Seeding = 53 LBS/AC  OR Pennlawn-Fine Fescue - 40 LBS/AC Redtop - 3 LBS/AC Perennial Ryegrass - 20 LBS/AC Total Seeding = 63 LBS/AC  Slopes or unmowed areas: Crown Vetch - 25 LBS/AC Perennial Ryegrass - 25 LBS/AC Total Seeding = 50 LBS/AC

Planting Date: March 1st to May 15th and August 15th to October 1st.  
Mulch straw at a rate of 140 LBS/1000 SF. Mulch shall be secured by approved methods.

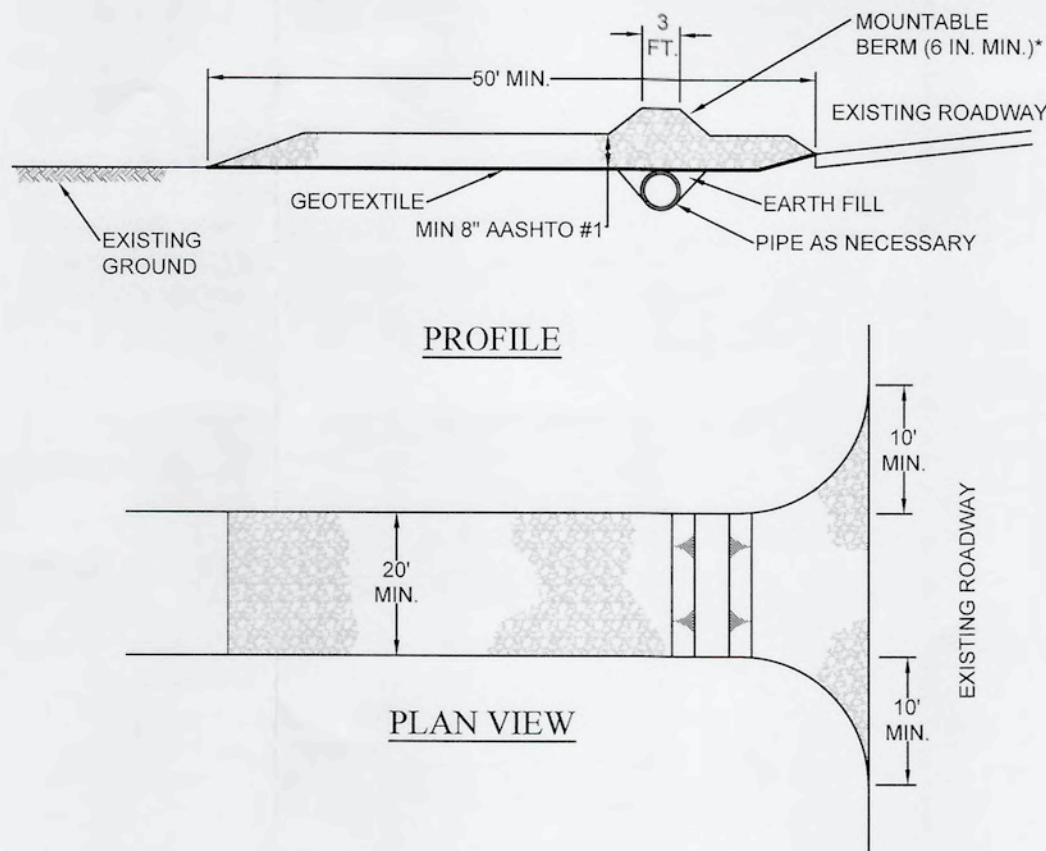


NOTES:

- FABRIC SHALL HAVE THE MINIMUM PROPERTIES AS SHOWN IN TABLE 4.3 OF THE PA DEP EROSION CONTROL MANUAL.
- FABRIC WIDTH SHALL BE 30 IN. MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL (U OR T) STAKES.
- SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.
- SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE.
- ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET (STANDARD CONSTRUCTION DETAIL # 4-6).
- FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

STANDARD CONSTRUCTION DETAIL #4-7  
STANDARD SILT FENCE (18" HIGH)

NOT TO SCALE



\* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

NOTES:

- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
- RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
- MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL, CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
- MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STANDARD CONSTRUCTION DETAIL #3-1  
ROCK CONSTRUCTION ENTRANCE

NOT TO SCALE



**Apex Companies, LLC**  
83 East 5th Avenue,  
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Everett, Pennsylvania 15537  
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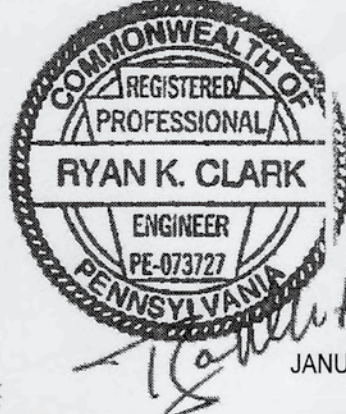
POOL PERMIT PLAN

STEPHEN & LISA SCHAFER

1396 Cernan Lane  
Blue Bell, Pennsylvania 19422  
Parcel ID: 66-00-00848-04-9  
Whitpain Township  
Montgomery County, Pennsylvania

NO	DATE	REVISION	ADDRESS EMAIL REVIEW COMMENTS
1	01/14/2026		

PROFESSIONAL SEAL



JANUARY 14, 2026

DATE:	12/12/2025
PROJECT NO:	ARI008-0628200-25013589
FOLDER NAME:	CAD
CAD DWG FILE:	Plan Sheets.dwg
DRAWN BY:	PIK
CHECKED BY:	RKC
SCALE:	AS SHOWN

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POOL PERMIT PLAN

C-102





SNR Contractor to obtain



## CALL BEFORE YOU DIG

PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE AND 10 WORKING  
DAYS IN DESIGN PHASE - STOP CALL

PENNSYLVANIA ONE CALL SYSTEM, INC.

1-800-242-1776

## LEGEND

	DESCRIPTION
	NPDES PERMIT AREA (0.00 ACS)
	LIMIT OF DISTURBANCE (9,173 s.f.)
	SURFACE CONTOURS
	SANITARY SEWER
	STORM SEWER
	GAS LINE
	OVERHEAD ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	WATER LINE
	COMMUNICATIONS LINE
	UTILITY EASEMENT
	UTILITY POLE
	STORMWATER CATCH BASIN
	SANITARY SEWER MANHOLE
	SANITARY CLEANOUT
	CULVERT
	FIRE HYDRANT
	LIGHT POLE
	PROPERTY LINE
	BUILDING
	PAVED ROAD
	GRAVEL ROAD
	ROAD SHOULDER
	ROAD RIGHT-OF-WAY
	GUIDE RAIL
	CHAIN LINK FENCE
	TREELINE
	STREAM
	LAKE/POND
	WETLANDS
	COLLECTION DITCH
	DIVERSION DITCH
	SWALE
	CONCRETE PAVEMENT/WALKWAY
	RIPRAP
	GEOTECHNICAL BOREHOLE
	INFILTRATION TEST PIT
	SOIL TYPE AND BOUNDARY

## LOT ADDITION INFORMATION

- The existing property is 32,121 s.f. in size. Lot Addition A is 14,722 s.f. This brings the new lot size to be 46,843 s.f.
- This information is based on the record plat for the existing lot, along with a possible lot change per the homeowner and their dealings with PennDOT and Whitpain Township due to relocating Cernan Lane access to DeKalb Pike.
- This information is subject to change until a final plan between the homeowner and PennDOT is reviewed and approved.

## STORMWATER PAYMENT-IN-LIEU OPTION

The property owner is planning to provide a payment-in-lieu instead of providing a stormwater management facility upon approval by the Township. The appropriate payment-in-lieu amount will be based on Section 125-30 C of the Whitpain Stormwater Management Ordinance.

## ENGINEER'S CERTIFICATION

I, Ryan K. Clark, on December 12, 2025, hereby certify that the stormwater management plan meets all design standards and criteria of the Whitpain Township Stormwater Management Ordinance.

## VARIANCE REQUEST:

Section 160-83 C.1 of the Whitpain Code states the accessory structure needs to be located in the rear yard only. The variance request is to allow the cabana to be located in the side rear yard, not located directly behind the house due to limitations on rear yard space due to existing slopes in the rear yard directly behind the house.



VICINITY MAP

SCALE: 1" = 1000'



## SURVEY NOTES:

- This plan is drawn from a survey completed in November of 2024.
- Existing above-grade and below-grade utilities have been shown in accordance with the best available information. Underground utilities are shown according to information provided by others and must be field verified prior to construction, excavation or blasting. The actual locations of these utilities have not been field verified and the locations are approximate. Clark Surveying + Engineering, LLC does not make any representation, warranty, assurance, or guarantee that the underground utility location provided by others and reflected on these drawings are correct and accurate. Clark Surveying + Engineering, LLC assumes no responsibility for any damages incurred as a result of utilities omitted or inaccurately shown.
- Any revisions to these plans after the date of plan preparation or latest revision date shall not be the responsibility of Clark Surveying + Engineering, LLC.
- No one shall scale from these plans for construction purposes.
- Vertical Datum: NAVD 88 Vertical Reference (Topnet)
- Horizontal Datum: NAD83 Horizontal Reference (Topnet)
- North Reference: NAD 83 PA South-Grid North
- There is no 100 Year Flood Plain on-site per National Flood Insurance Program - Flood Insurance Rate Map number 42091C0270G, Effective date of March 2, 2016.
- There are no wetlands present on site according to the (NWI) National Wetland Inventory Mapping. (A detailed wetlands study was not completed as part of this plan)
- Contractor is responsible for contacting Pennsylvania One Call System, Inc. a minimum of 3 working days notice for construction phase and 10 working days notice in design phase.

## ZONING NOTES:

Whitpain Township - This lot is part of the Mews at Blue Bell Subdivision, Record A-50, Pg 279.

R-7 Zoning District

Zoning Information shown below per the approved subdivision plan.

Minimum Lot Area:	15,000 s.f.
Minimum Lot Frontage:	100 feet at building setback line
Minimum Front Yard:	50 feet
Minimum Rear Yard:	50 feet
Minimum Side Yard:	45 feet aggregate, 20' min one side
Maximum Impervious Coverage:	14,212 s.f.
Maximum Building Height:	35 feet
Accessory Building Setback:	5' side and rear

## IMPERVIOUS COVER COMPUTATIONS:

Net Lot Area: 46,843 s.f. or 1.075 Acres (32,121 s.f. original lot + 14,722 s.f. probable lot addition)

Existing:		Proposed:	
Residence:	2,000 s.f.	Pool Water Surface:	919 s.f.
Driveway:	1,837 s.f.	Pool Coping:	142 s.f.
Front Walk/Stoop:	231 s.f.	Pool Cabana:	576 s.f.
Rear Patio Deck:	649 s.f.	Pool Rock/Slide Feature:	815 s.f.
Retaining Wall:	13 s.f.	Pool Deck:	1,259 s.f.
		Pool Utility Pad:	40 s.f.
Subtotal:	4,730 s.f.	Walkway:	37 s.f.
	10.1 %	Roofed Patio:	405 s.f.
		Additional Patio:	479 s.f.
		Subtotal:	4,671 s.f.
		Existing Patio Deck to be removed:	-649 s.f.
		Total:	4,022 s.f.
			8.59 %

Percent of total impervious surfaces existing: 4,730 s.f. / 46,843 s.f. = 10.1 %  
Percent of total impervious surfaces existing & proposed: 8,752 s.f. / 46,843 s.f. = 18.69 %  
Impervious area allowed per record plan: 14,212 s.f.

## CONSTRUCTION SEQUENCE:

- Install silt fence where indicated on plan. Silt fence must be placed around all erosion prone and earth disturbed areas by the contractor before construction. Install orange protection fence around area to be used for the stone infiltration trench to protect it from compaction.
- Construct the temporary construction access with rock construction entrance off of the existing driveway. Clean all silt off the construction vehicles before entering public road. The contractor should verify with the Township if a road access permit is required.
- Strip topsoil and stockpile at designated area.
- Install protective fence around proposed rain garden area.
- Excavate pool area placing fill down gradient to proposed pool area. Fill shall be placed in 12" lifts, loose depth and compacted. Fill shall be free of deleterious material.
- Construct pool, decking and appurtenances.
- Haul all excess excavation off the lot.
- Finish grade disturbed areas and stabilize immediately. All topsoil shall be retained on site.
- Install stone infiltration trench per these plans and stabilize immediately.
- Upon stabilization of disturbed areas, remove erosion control measures.
- Areas redisturbed shall be stabilized immediately.
- Pool contractor shall be responsible for the final stabilization of the site.



## Apex Companies, LLC

83 East 5th Avenue,  
Suite 2

Everett, Pennsylvania 15537

Phone: (814) 652-1039

www.apexcos.com

## POOL PERMIT PLAN

## STEPHEN & LISA SCHAFER

1396 Cernan Lane

Blue Bell, Pennsylvania 19422

Parcel ID: 66-00-00848-04-9

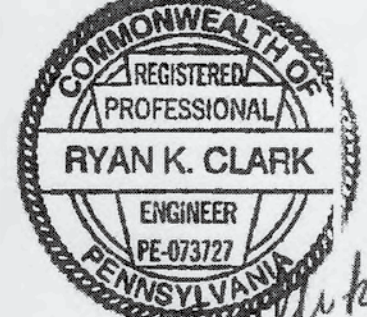
Whitpain Township  
Montgomery County, Pennsylvania

REVISION  
ADDED VARIANCE REQUEST FOR CABANA

DATE  
01/14/2026

NO  
1

PROFESSIONAL SEAL



JANUARY 14, 2026

of Apex Companies

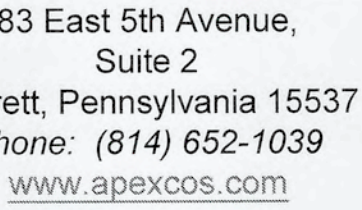
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PROJECT NO:	ARI008-0628200-25013589
FOLDER NAME:	CAD
CAD DWG FILE:	Plan Sheets.dwg
DRAWN BY:	PJK
CHECKED BY:	RKC
SCALE:	AS SHOWN

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POOL PERMIT PLAN

# C-100





## STEPHEN &amp; LISA SCHAFER

**Blue Bell, Pennsylvania 19422  
Parcel ID: 66-00-00848-04-9  
Whitpain Township  
Montgomery County, Pennsylvania**

[illegible]

COMMONWEALTH OF  
REGISTERED  
PROFESSIONAL  
RYAN K. CLARK  
ENGINEER  
PE-073727  
PENNSYLVANIA

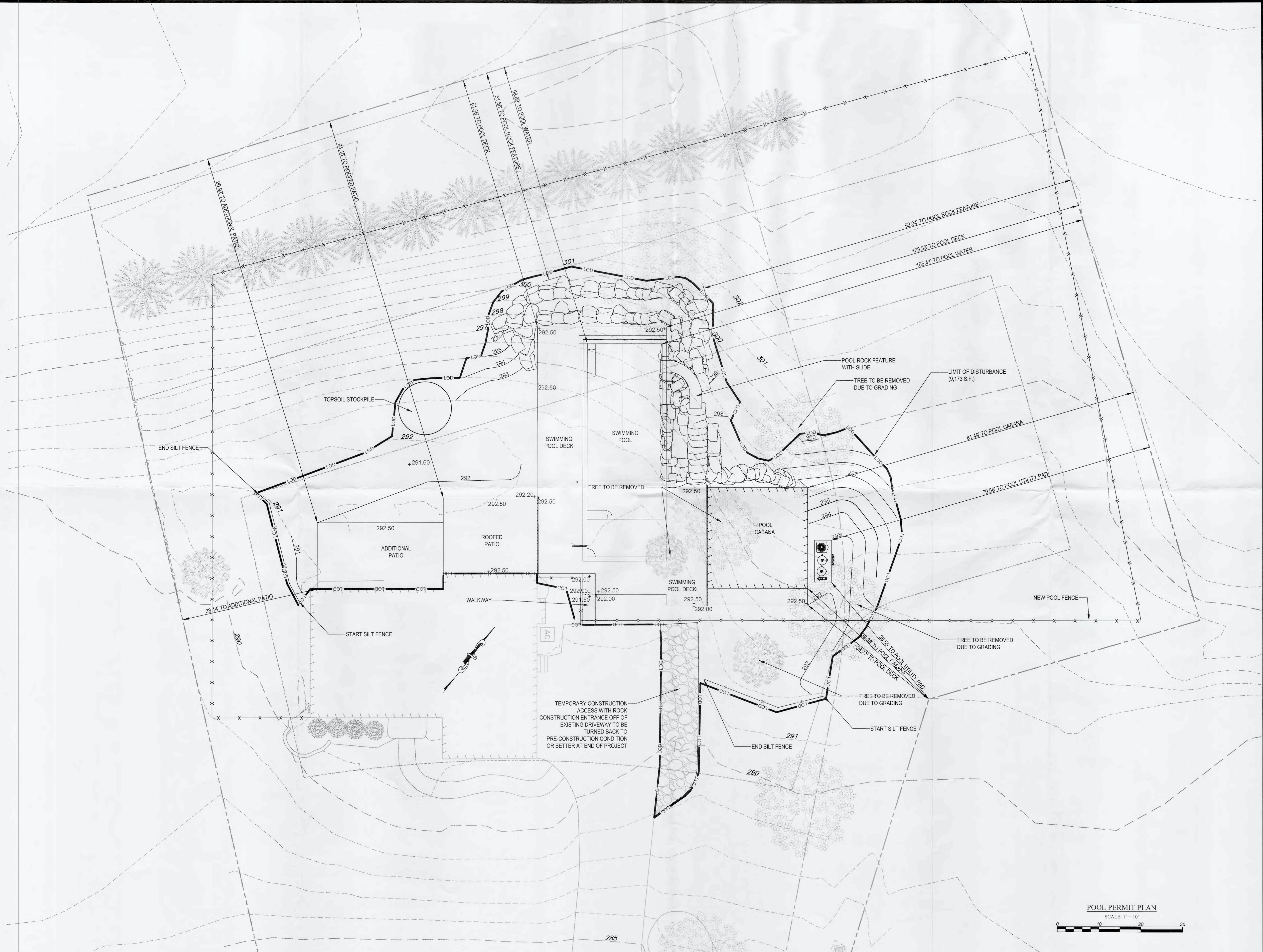
JANUARY 14, 2026

DATE:	12/12/2021
PROJECT NO:	ARI008-0628200-2501358
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DRAWN BY:	PJF
CHECKED BY:	RKC
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## POOL PERMIT PLAN

# C-101



DWG Location: W:\Clients\ARI008 - Arista Pools - 2025\25013589-Arista Pools - 1396 Cerman Lane\CAD - Civil -add-on\0-Live\2-Design\Plan Sheets.dwg Plotted By: Paul Kendall



EROSION & SEDIMENTATION CONTROL NOTES:

- Erosion and sedimentation controls must be constructed, stabilized and functional before site disturbance within the tributary areas of these controls.
- After final site stabilization has been achieved, temporary erosion and sedimentation controls must be removed. Areas disturbed during removal of the controls must be stabilized immediately.
- Filter fabric fence must be installed at level grade. Both ends of each fence section must extend at least ten feet upslope at 45 degrees to the main fence alignment.
- Sediment must be removed when accumulations reach half the above ground height of the fence.
- Any fence section which has been undermined or topped must be immediately replaced with a rock filter outlet. See Rock Filter Outlet detail.
- Stockpile heights must not exceed 35 feet. Stockpile slopes must be 2:1 or flatter.
- Any disturbed area, on which activity has ceased, must be stabilized immediately in accordance with permanent seeding specification. During non-germinating periods, mulch must be applied at the recommended rates.
- Diversions, channels, sedimentation basins, sedimentation traps and stockpiles must be stabilized immediately.
- Hay or straw mulch must be applied at rates of at least 3.0 tones per acre.
- Until the site is stabilized, all erosion and sedimentation controls must be maintained properly. Maintenance must include inspections of all erosion and sedimentation controls after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, mulching and renetting, must be performed immediately.
- Should unforeseen erosive conditions develop during construction, the contractor shall take action to remedy such conditions and to prevent damage to adjacent properties as a result of increased runoff and/or sediment displacement. Stockpiles of wood chips, hay bales, crushed stone and other mulches shall be held in readiness to deal immediately with emergency problems of erosion.
- The contractor is advised to become thoroughly familiar with the provisions of Appendix 64, Erosion Control Rules and Regulations, Title 25, Part 1, Department of Environmental Protection.
- Protection to existing trees and shrubs shall be taken by the contractor to eliminate unnecessary damage.
- Any bare-earth areas where earth moving has ceased must be permanently stabilized immediately.
- All swales shall be protected with erosion control blankets.

TEMPORARY SEEDING:

Lime: 190 LBS/1000 SF  
Ground limestone incorporated 4 inches into soil

Fertilizer: 25 LBS/1000 SF  
10-20-20 incorporated 4 inches into soil

Seed: 1.0 LBS/1000 SF  
Annual Ryegrass

Mulch: 140 LBS/1000 SF  
Straw Mulch

Minimum standard for limestone and fertilizer:  
Limestone shall be applied at a rate of 1 ton per acre.  
Fertilizer shall be applied at a rate of:

Nitrite Nitrogen: 30 LBS/Acre average  
Phosphorous: 100 LBS/Acre average  
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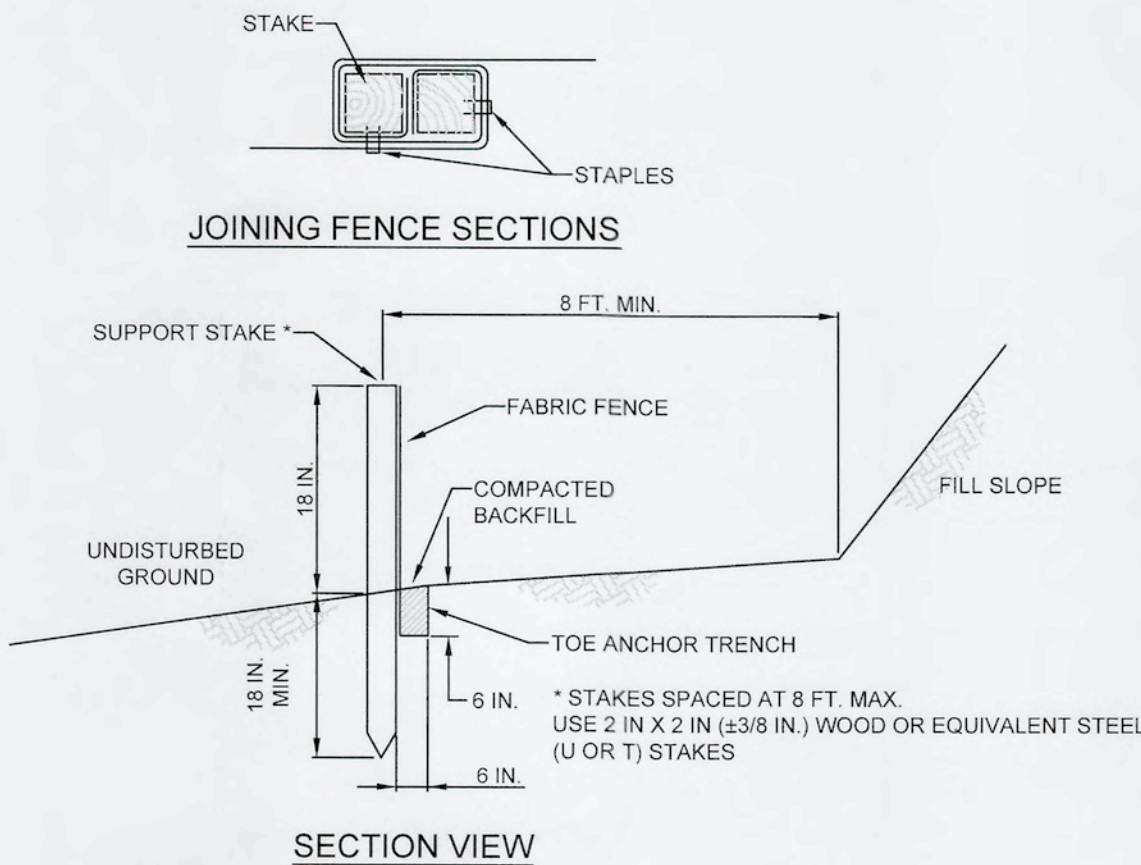
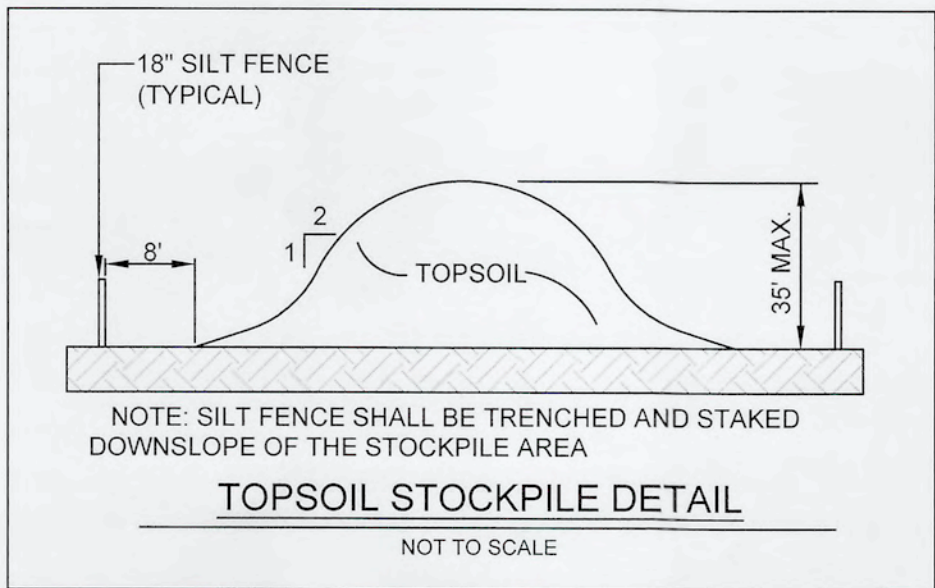
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Redtop - 3 LBS/AC  
Perennial Ryegrass - 20 LBS/AC  
Total Seeding = 63 LBS/AC

OR

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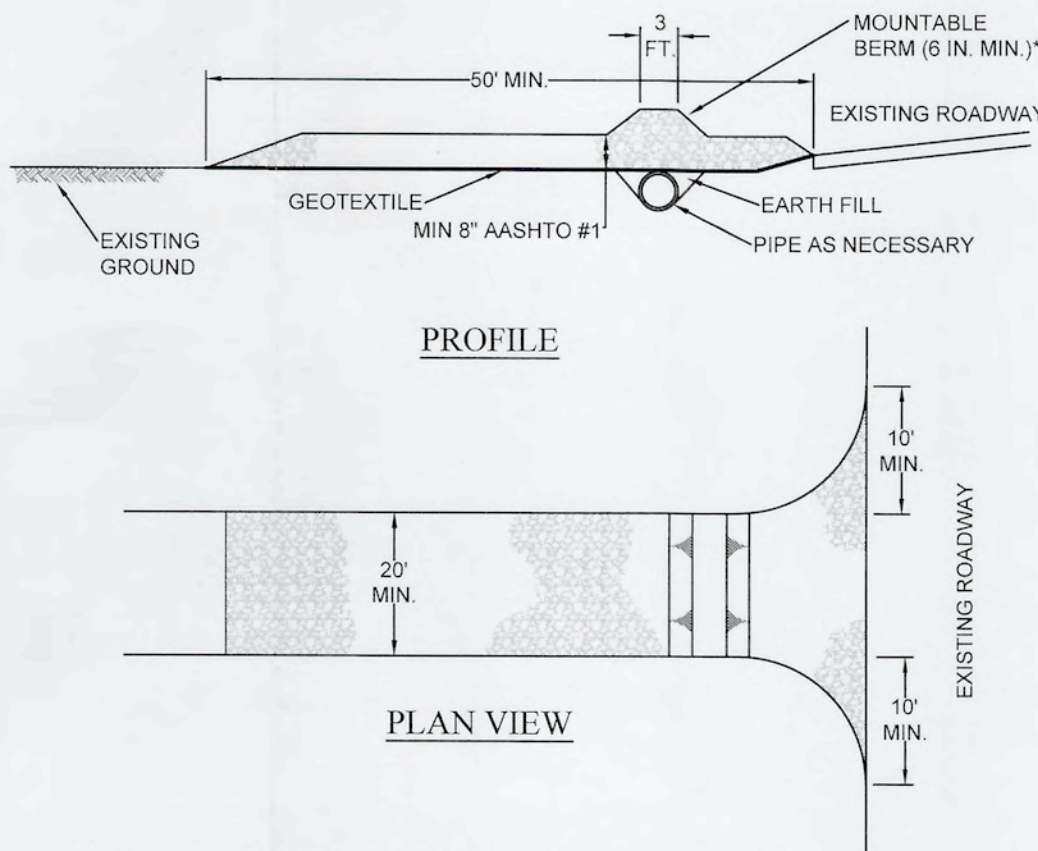
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STANDARD CONSTRUCTION DETAIL #4-7  
STANDARD SILT FENCE (18" HIGH)

NOT TO SCALE



\* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

NOTES:

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STANDARD CONSTRUCTION DETAIL #3-1  
ROCK CONSTRUCTION ENTRANCE

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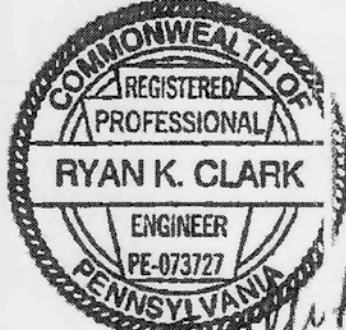
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REVISION

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POOL PERMIT PLAN

C-102