

RESIDENT/ PROPERTY OWNER NOTICE
WHITPAIN TOWNSHIP ZONING HEARING BOARD

Whitpain Township Zoning Hearing Board will hold a public meeting on Thursday, February 19, 2026, at 7:00 p.m. at the Whitpain Township Building, 960 Wentz Road, Blue Bell, Pennsylvania, 19422 in order to hear and possibly render decision on the following new matter:

2484-26 – Steve and Lisa Schafer for the property located at 1396 Cernan Lane, Blue Bell, PA 19422 requests the following variances from the Whitpain Township Zoning Code to construct a pool cabana: (1) a variance from Section 160-83.C(1) and Section 160-204.D to permit the accessory structure to be located in the side yard; and (2) a variance from Section 160-214.C.(2) to permit a non-green area of 8,762 square feet where a maximum of 8,171.66 square feet is permitted. The Property is in the R-1 Residence Zoning District.

This notice is being mailed to you in accordance with the Township's Zoning Ordinance, including Section 160-240, that requires the mailing or serving notice to the owners or occupiers, if known, of every lot on the same street within 500ft of the property that is the subject of the hearing or, if not on the same street, within 150ft of the subject property.

Copies of the application, exhibits, site plans or other materials received by the Township in connection with the above matter are on file with the Zoning Officer at the Township Building. Paper copies may be requested in writing from the Township at a cost as permitted by law. Applications and plans are also available for review on the Township's website at www.whitpainttownship.org. All hearings will be held in-person and, unless an accommodation has been granted, all applicants, witnesses and individuals seeking to be a party to the proceeding or any individual wanting to provide public comment must be present to participate. Therefore, be advised that only testimony, evidence and public comment made before the Zoning Hearing Board may be considered as part of each hearing. Persons who wish to attend or participate in the above-referenced hearings and require an auxiliary aid, service or other accommodation, please contact the Township ADA Coordinator at 610-277-2400 or send an email to buildingandzoning@whitpainttownship.org within five days of the hearing.

Members of the public who wish to be considered a party to the proceedings may contact Whitpain Township at 610-277-2400 or send an email to buildingandzoning@whitpainttownship.org to request information about the procedure. The Zoning Hearing Board determines at the hearing who may participate in the hearing as a party in accord with Section 908(3) of the Pennsylvania Municipalities Planning Code hereafter referred to as the "MPC." The MPC permits party status to any person or persons "affected" by the Application. Having taxpayer status and/or township resident status alone is not enough to obtain party status; however a person whose property or business

abuts the property that is the subject of the Application is typically deemed to be affected and sufficient for party status. Ultimately, it is the Zoning Hearing Board that makes the party status determination after reviewing the request.

You need not be a party in order to provide comment on an application. The Zoning Hearing Board will hear public comment on each application prior to closing the hearing. Following the close of the hearing, the Zoning Hearing Board will render a decision, unless it deems that additional time is required for consideration and deliberation, in which case it will continue the public meeting to an announced date and time for that purpose.

**ZONING HEARING BOARD
OF WHITPAIN TOWNSHIP**

Relief IF Granted will allow app. to
Const. a pool cabana in the side yard
where only the rear yard is permitted, and
allow a total non green area of
8702 sqft where only 8171.66 sqft
is permitted.

RECEIVED

Case #: ZHB#2484-26



JAN 20 2026

 Whitpain Township
 960 Wentz Road
 Blue Bell, PA 19422
 610.277.2400
 Codes@WhitpainTownship.org

 WHITPAIN TOWNSHIP
 Code Enforcement Department
 Zoning Hearing Board Application
1. Required Information:

Applicant Name: Steve and Lisa Schafer
 Applicant is: Property Owner Legal Council Equitable Owner Tenant
 Applicant Address: 1396 Cernan Ln Blue Bell PA 19422
 Phone: 832-453-0706 Email: Steve.schafer@hotmail.com
 Subject Property Address: 1396 Cernan Ln Blue Bell PA 19422

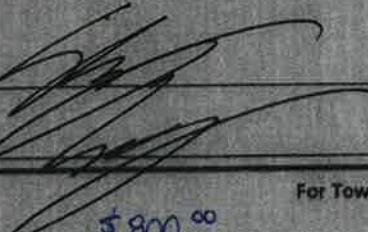
2. Application Type (select all that apply):

Variance Appeal of the determination of Zoning Officer Appeal from a Zoning Enforcement Notice
 Special Exception Request to extend a previously granted variance or special exception prior to expiration
 Other: _____

3. Description of Project and Relief Request in Detail (required):

Section 160-83.C.1 - We are requesting to place the Cabana in the Side rear yard, not directly behind the house due to limited rear yard space due to existing slopes. The side rear yard provides a more level and suitable location.

4. Signatures:

Applicant:  Date: 1/15/26

Property Owner:  Date: 1/15/26

| For Township Use Only | |
|-----------------------|----------------------|
| Fee: | <u>\$ 800.00</u> |
| Article: | <u>XIV</u> |
| Article: | <u>XXVIII</u> |
| Article: | <u>XXVII</u> |
| Article: | |
| Article: | |
| Reviewed By: | <u>TD</u> |
| Zoning District: | <u>R-7</u> |
| Section: | <u>160-83 C. (1)</u> |
| Section: | <u>160-204 D</u> |
| Section: | <u>160-214 C(2)</u> |
| Section: | |
| Section: | |
| Review Date: | <u>1/21/26</u> |

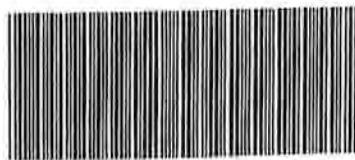
Revised 01/25

Zoning Hearing Board Application Page 1 of 1

114699



DEED BK 5781 PG 01484 to 01488
 INSTRUMENT # : 2010087965
 RECORDED DATE: 10/06/2010 12:59:10 PM



2227430-00051

**RECORDER OF DEEDS
 MONTGOMERY COUNTY
*Nancy J. Becker***

One Montgomery Plaza
 Swede and Airy Streets ~ Suite 303
 P.O. Box 311 ~ Norristown, PA 19404
 Office: (610) 278-3289 ~ Fax: (610) 278-3869

MONTGOMERY COUNTY ROD

Page 1 of 5

OFFICIAL RECORDING COVER PAGE

| | |
|---------------------------------|-----------------------------------|
| Document Type: Deed | Transaction #: 2139254 - 2 Doc(s) |
| Document Date: 09/24/2010 | Document Page Count: 4 |
| Reference Info: rossini-schafer | Operator Id: kleonard |

| | |
|---|---|
| RETURN TO: (Mail) WEICHERT CLOSING SER CO 220 COMMERCE DRIVE FT WASHINGTON, PA 19034 | SUBMITTED BY: WEICHERT CLOSING SER CO 220 COMMERCE DRIVE FT WASHINGTON, PA 19034 |
|---|---|

*** PROPERTY DATA:**
 Parcel ID #: 66-00-00848-04-9
 Address: 1396 CERNAN LN

PA
 19422
 Municipality: Whitpain Township (100%)
 School District: Wissahickon

*** ASSOCIATED DOCUMENT(S):**

| | | |
|----------------------------|--------------|---|
| CONSIDERATION/SECURED AMT: | \$396,500.00 | DEED BK 5781 PG 01484 to 01488 Recorded Date: 10/06/2010 12:59:10 PM |
|----------------------------|--------------|---|

FEES / TAXES:
 Recording Fee:Deed \$65.00
 State RTT \$3,965.00
 Whitpain Township RTT \$1,982.50
 Wissahickon School District RTT \$1,982.50
 Total: \$7,995.00

I hereby CERTIFY that
 this document is
 recorded in the
 Recorder of Deeds
 Office in Montgomery
 County, Pennsylvania.



Nancy J. Becker
 Nancy J. Becker
 Recorder of Deeds

PLEASE DO NOT DETACH
 THIS PAGE IS NOW PART OF THIS LEGAL DOCUMENT

NOTE: If document data differs from cover sheet, document data always supersedes.

*COVER PAGE DOES NOT INCLUDE ALL DATA, PLEASE SEE INDEX AND DOCUMENT FOR ANY ADDITIONAL INFORMATION.

RECORDS OF MONTGOMERY COUNTY

Fee Simple Deed

2010 OCT -6 AM 10:58

Prepared by and Return to:

Weichert Closing Services Co.
220 Commerce Drive
Fort Washington, PA 19034
215-643-3317
vrangay@weichertfinancial.com
WCS-114699

PARCEL: 66-00-00848-049

MONTGOMERY COUNTY COMMISSIONERS REGISTRY

66-00-00848-04-9 WHITPAIN
1396 CERNAN LN
ROSSINI MICHAEL A & LORI L \$10 00
B 003D U 041 L 41 1101 DATE 10/06/2010 BR

THIS INDENTURE, MADE THE 24th day of September, 2010

BETWEEN

Michael A. Rossini and Lori Lynn Rossini, husband and wife

(hereinafter called the Grantor(s)), of the one part, and

Stephen Schafer and Lisa Brogan

(hereinafter called the Grantee(s)), of the other part,

A14
u
o
WITNESSETH That the said Grantor(s) for and in consideration of the sum of THREE HUNDRED NINETY SIX THOUSAND FIVE HUNDRED AND 00/100 DOLLARS (\$396,500.00) lawful money of the United States of America, unto it well and truly paid by the said Grantee(s), at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, released and confirmed, and by these presents does grant, bargain and sell, release and confirm unto the said Grantee(s), his/her/their heirs and assigns, as tenants by the entirety

See Exhibit A Attached Hereto and Made a Part Hereof

RECEIVED OCT 06 2010

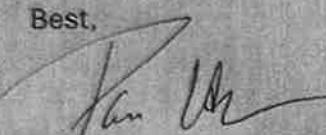
To Whitpain Township,

I am aware of Steve and Lisa Schafer's plans to put in a pool (and related structures) at 1396 Cernan Lane which include two variances:

- 1) Structures which are too close to the property line (prior to the deeding of the former top of McDivitt Dr).
- 2) A pool shed (with bathroom, changing room, and storage) which is not behind the plane of the house

I am signing this letter to let you know that I support of these plans.

Best,



Pat Hanks
1370 Cernan Lane
Mews neighborhood board member

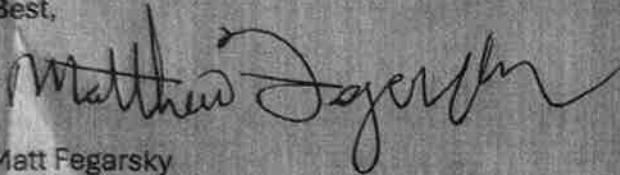
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Best,



Matt Fegarsky
1322 Cernan Lane
Mews neighborhood board member

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Best,



Geoff Jones
1372 McDivitt Drive
Mews neighborhood board member

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Best,



Jeff Zhu and June Li
1390 Cernan Lane
Direct next door neighbors (to the southwest)

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Best,

Ed Ourch

Ed and Lucy Ourch
1391 McDivitt Drive
Direct next door neighbors (to the northeast)

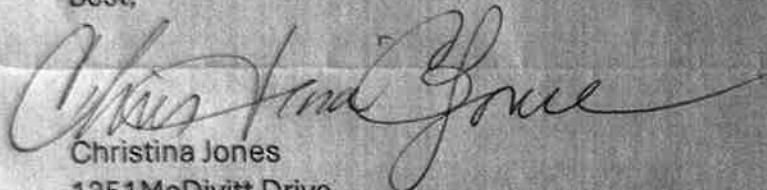
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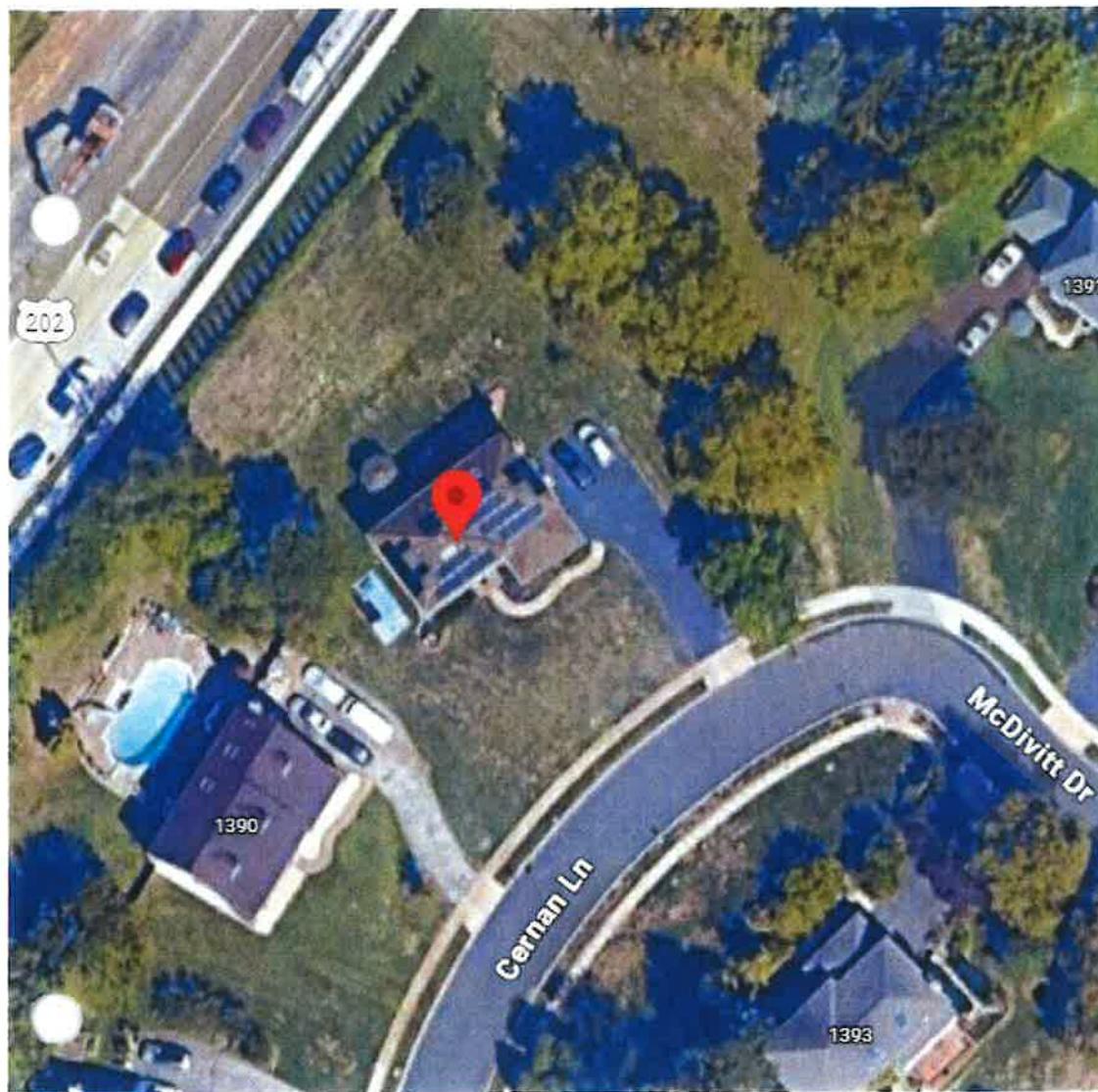
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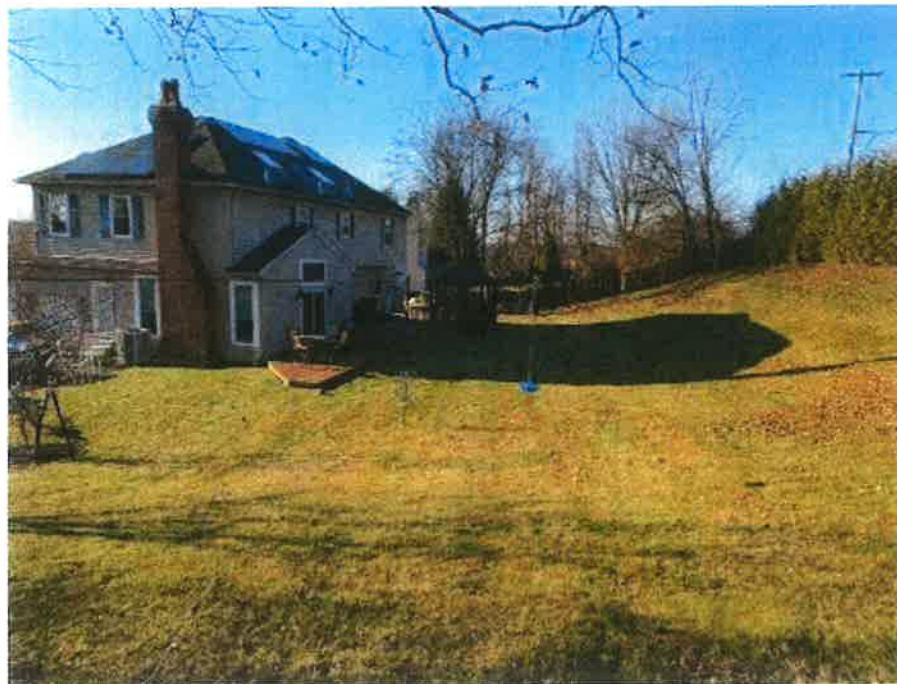


Christina Jones
1351 McDivitt Drive
Mews neighborhood board member

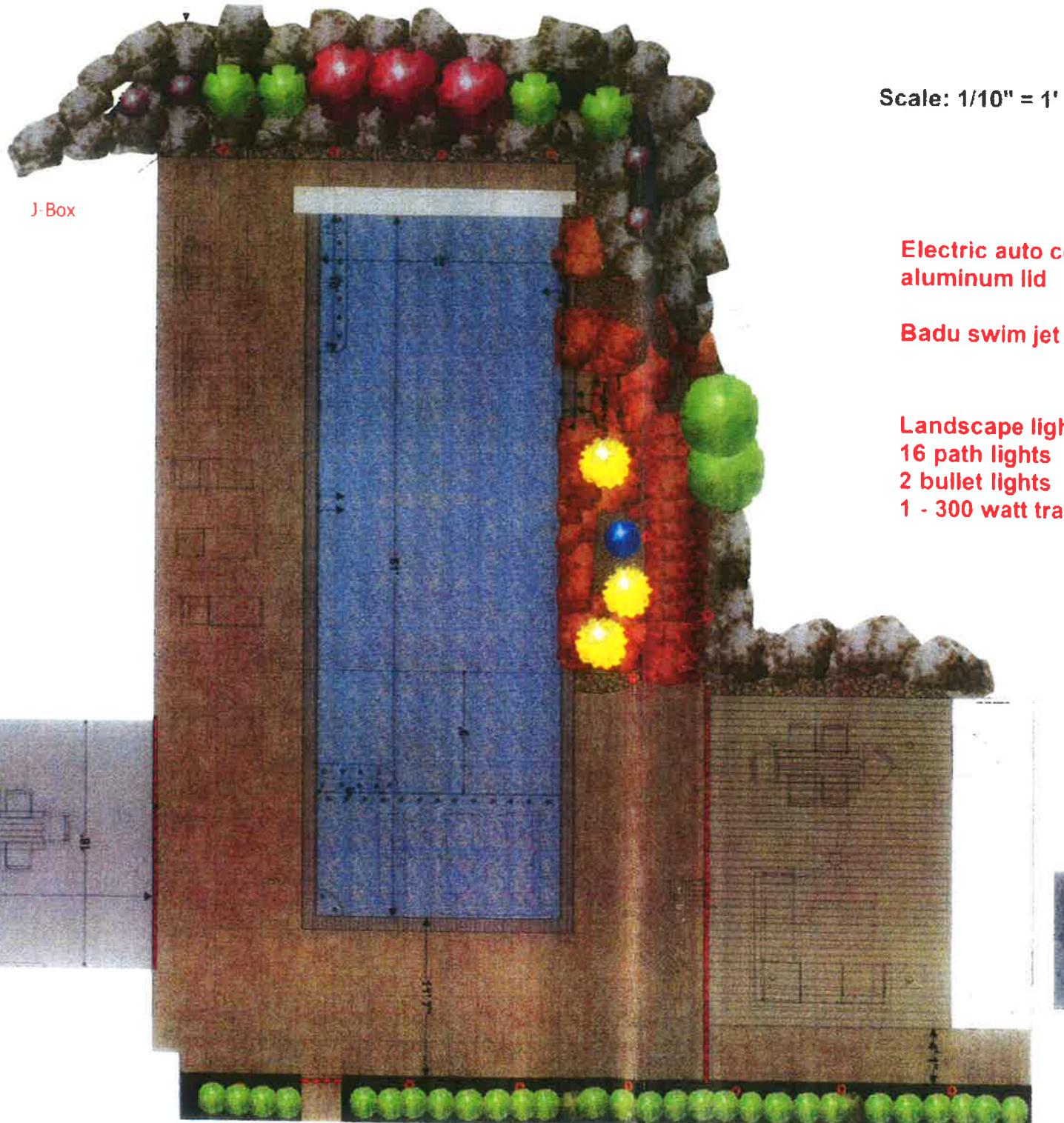


1396 Cernan Ln
Blue Bell, PA
19422









Scale: 1/10" = 1'

Pool Depth Profile

| Pool |
|--------------------------------|
| Overall = 51' x 18' |
| Length = 138' |
| Width = 756 ft ² |
| Volume = 28.173 gallons |
| Material = Pebble |
| Color = Tile, Blue Slate |
| Material = 142 ft ² |
| Color = Bullnose Brick |

Sunshelf

| |
|---------------------|
| 162 ft ² |
| Pebble |

Pool Deck

| |
|----------------------|
| 1950 ft ² |
| Stamped Concrete |

Deck Drain

| |
|----|
| 50 |
|----|

54" High Aluminum Fence

| |
|----------------------------|
| 1 - 4' Gate + 2 - 8' Gates |
| 640' |

140 lf - 3'6" High boulder wall
30 lf - 1' High boulder wall



Project Info

Steve Schafer
steveschafer@hotmail.com
832-453-0706
1396 Cernan Lane
Blue Bell
PA
19422
Whitpain Township, Montgomery County

Volleyball net
Designer series 44" handrail
2 - Umbrella cups

Arista
Pool & Spa
11 Crosskeys Road
Collegeville, PA 19426
610-489-6000
www.aristapools.com







Apex Companies, LLC
83 East 5th Avenue,
Suite 2
Everett, Pennsylvania 15537
Phone: (814) 652-1039
www.apexcos.com

STEPHEN & LISA SCHAFER
1396 Cernan Lane
Blue Bell, Pennsylvania 19422
Parcel ID: 66-00-00848-04-9
Whitpain Township
Montgomery County, Pennsylvania

1396 Cernan Lane
Blue Bell, Pennsylvania 19422
Parcel ID: 66-00-00848-04-9
Whitpain Township



VICINITY MAP
SCALE: 1" = 1000'

- SURVEY NOTES:**
- This plan is drawn from a survey completed in November of 2024.
 - Existing above-grade and below-grade utilities have been shown in accordance with the best available information. Underground utilities are shown according to information provided by others and must be field verified prior to construction, excavation or blasting. The actual locations of these utilities have not been field verified and the locations are approximate. Clark Surveying + Engineering, LLC makes no representation, warranty, assurance, or guarantee that the underground utility location provided by others are located on these drawings accurately and completely. Clark Surveying + Engineering, LLC assumes no responsibility for any damages resulting from a use of utilities omitted or inaccurately shown.
 - Any revisions to these plans after the date of plan preparation or latest revision date shall not be the responsibility of Clark Surveying + Engineering, LLC.
 - No one shall scale from these plans for construction purposes.
 - Vertical Datum: NAVD 88 Vertical Reference (TopoNet)
 - Horizontal Datum: NAD 83 PA South-Grid North
 - North Reference: NAD 83 PA South-Grid North
 - There is no 100 Year Flood Plain on site per National Flood Insurance Program - Flood Insurance Rate Map number 42091C0270G, Effective date of March 2, 2016.
 - There are no wetlands present on site according to the (NW) National Wetland Inventory Mapping. (A detailed wetlands study was not completed as part of this plan)
 - Contractor is responsible for contacting Pennsylvania One Call System, Inc. a minimum of 3 working days notice for construction phase and 10 working days notice in design phase.

ZONING NOTES:

Whitpain Township - This lot is part of the Mews at Blue Bell Subdivision, Record A-50, Pg 279.

R-7 Zoning District

Zoning Information shown below per the approved subdivision plan.

| | |
|------------------------------|-------------------------------------|
| Minimum Lot Area: | 15,000 s.f. |
| Minimum Lot Frontage: | 100 feet at building setback line |
| Minimum Front Yard: | 50 feet |
| Minimum Rear Yard: | 50 feet |
| Minimum Side Yard: | 45 feet aggregate, 20' min one side |
| Maximum Impervious Coverage: | 14,212 s.f. |
| Maximum Building Height: | 35 feet |
| Accessory Building Setback: | 5' side and rear |

IMPERVIOUS COVER COMPUTATIONS:

Net Lot Area: 32,121 s.f. or 0.7374 Acres

| Existing: | Proposed: |
|----------------------------|---|
| Residence: 2,000 s.f. | Pool Water Surface: 918 s.f. |
| Driveway: 1,837 s.f. | Pool Coping: 142 s.f. |
| Front Walk/Stoop: 231 s.f. | Pool Cabana: 576 s.f. |
| Rear Patio Deck: 649 s.f. | Pool Rock/Slide Feature: 915 s.f. |
| Retaining Wall: 13 s.f. | Pool Deck: 1,259 s.f. |
| | Pool Utility Pad: 40 s.f. |
| Subtotal: 4,730 s.f. | Walkway: 37 s.f. |
| | Wall at walkway: 10 s.f. |
| 14.73 % | Roofed Patio: 405 s.f. |
| | Additional Patio: 479 s.f. |
| | Subtotal: 4,681 s.f. |
| | Existing Patio Deck to be removed: 649 s.f. |
| | Total: 4,032 s.f. |
| | 12.55 % |

Percent of total impervious surfaces existing: 4,730 s.f. / 32,121 s.f. = 14.73%
Percent of total impervious surfaces existing & proposed: 8,762 s.f. / 32,121 s.f. = 27.28%
Impervious area allowed per record plan: 14,212 s.f.

CONSTRUCTION SEQUENCE:

- Install silt fence where indicated on plan. Silt fence must be placed around all erosion prone and earth disturbed areas by the contractor before construction. Install orange protection fence around area to be used for the stone infiltration trench to protect it from compaction.
- Construct the temporary construction access with rock construction entrance off of the existing driveway. Clean all silt off the construction vehicles before entering public road. The contractor should verify with the Township if a road access permit is required.
- Strip topsoil and stockpile at designated area.
- Install protective fence around proposed rain garden area.
- Excavate pool area placing fill down gradient to proposed pool area. Fill shall be placed in 12" lifts, loose depth and compacted. Fill shall be free of deleterious material.
- Construct pool, decking and appurtenances.
- Haul all excess excavation off the lot.
- Finish grade disturbed areas and stabilize immediately. All topsoil shall be retained on site.
- Install stone infiltration trench per these plans and stabilize immediately.
- Upon stabilization of disturbed areas, remove erosion control measures.
- Areas redisturbed shall be stabilized immediately.
- Pool contractor shall be responsible for the final stabilization of the site.

LOT ADDITION INFORMATION

- The existing property is 32,121 s.f. in size. Lot Addition A is 14,722 s.f. This brings the new lot size to be 46,843 s.f.
- This information is based on the record plat for the existing lot, along with a possible lot change per the homeowner and their dealings with PennDOT and Whitpain Township due to relocating Cernan Lane access to Dekalb Pike.
- This information is subject to change until a final plan between the homeowner and PennDOT is reviewed and approved.

STORMWATER PAYMENT-IN-LIEU OPTION

The property owner is planning to provide a payment-in-lieu instead of providing a stormwater management facility upon approval by the Township. The appropriate payment-in-lieu amount will be based on Section 125-30-C of the Whitpain Stormwater Management Ordinance.

ENGINEER'S CERTIFICATION

I, Ryan K. Clark, on December 12, 2025, hereby certify that the stormwater management plan meets all design standards and criteria of the Whitpain Township Stormwater Management Ordinance.

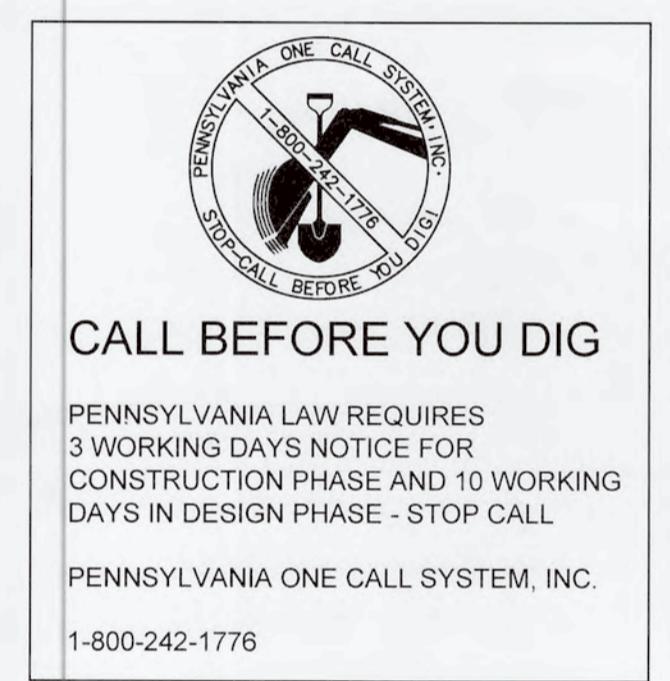
VARIANCE REQUEST:

Section 160-83.C.1 of the Whitpain Code states the accessory structure needs to be located in the rear yard only. The variance request is to allow the cabana to be located in the side rear yard, not located directly behind the house due to limitations on rear yard space due to existing slopes in the rear yard directly behind the house.

C-100



SN#Contractor to obtain



CALL BEFORE YOU DIG

PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND 10 WORKING
DAYS IN DESIGN PHASE - STOP CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776

| LEGEND | |
|---------------------------------------|--|
| DESCRIPTION | |
| NPDES PERMIT AREA (0.00 ACRS) | |
| LOD LIMIT OF DISTURBANCE (8,625 s.f.) | |
| 2120 SURFACE CONTOURS | |
| SS SANITARY SEWER | |
| ST STORM SEWER | |
| G GAS LINE | |
| E OVERHEAD ELECTRIC LINE | |
| E UNDERGROUND ELECTRIC LINE | |
| W WATER LINE | |
| C COMMUNICATIONS LINE | |
| UTILITY EASEMENT | |
| Ø UTILITY POLE | |
| STORMWATER CATCH BASIN | |
| SANITARY SEWER MANHOLE | |
| SANITARY CLEANOUT | |
| CULVERT | |
| FIRE HYDRANT | |
| LIGHT POLE | |
| PROPERTY LINE | |
| BUILDING | |
| PAVED ROAD | |
| GRAVEL ROAD | |
| ROAD SHOULDER | |
| ROAD RIGHT-OF-WAY | |
| GUIDE RAIL | |
| CHAIN LINK FENCE | |
| TREELINE | |
| STREAM | |
| LAKE/POND | |
| WETLANDS | |
| COLLECTION DITCH | |
| DIVERSION DITCH | |
| SWALE | |
| CONCRETE PAVEMENT/WALKWAY | |
| RIPRAP | |
| BH-NAME GEOTECHNICAL BOREHOLE | |
| TP-1-X INFILTRATION TEST PIT | |
| SOIL TYPE AND BOUNDARY | |





Apex Companies, LLC
83 East 5th Avenue,
Suite 2
Everett, Pennsylvania 15537
Phone: (814) 652-1039
www.apexcos.com

STEPHEN & LISA SCHAFER

1396 Cernan Lane
Blue Bell, Pennsylvania 19422
Parcel ID: 66-00-00848-04-9
Whitpain Township
Montgomery County, Pennsylvania

POOL PERMIT PLAN

| | | |
|-------------------|------------|--|
| NO. | DATE | REVISION |
| 1 | 01/14/2026 | ADDRESS EMAIL REVIEW COMMENTS 1/8/2026 |
| PROFESSIONAL SEAL | | |



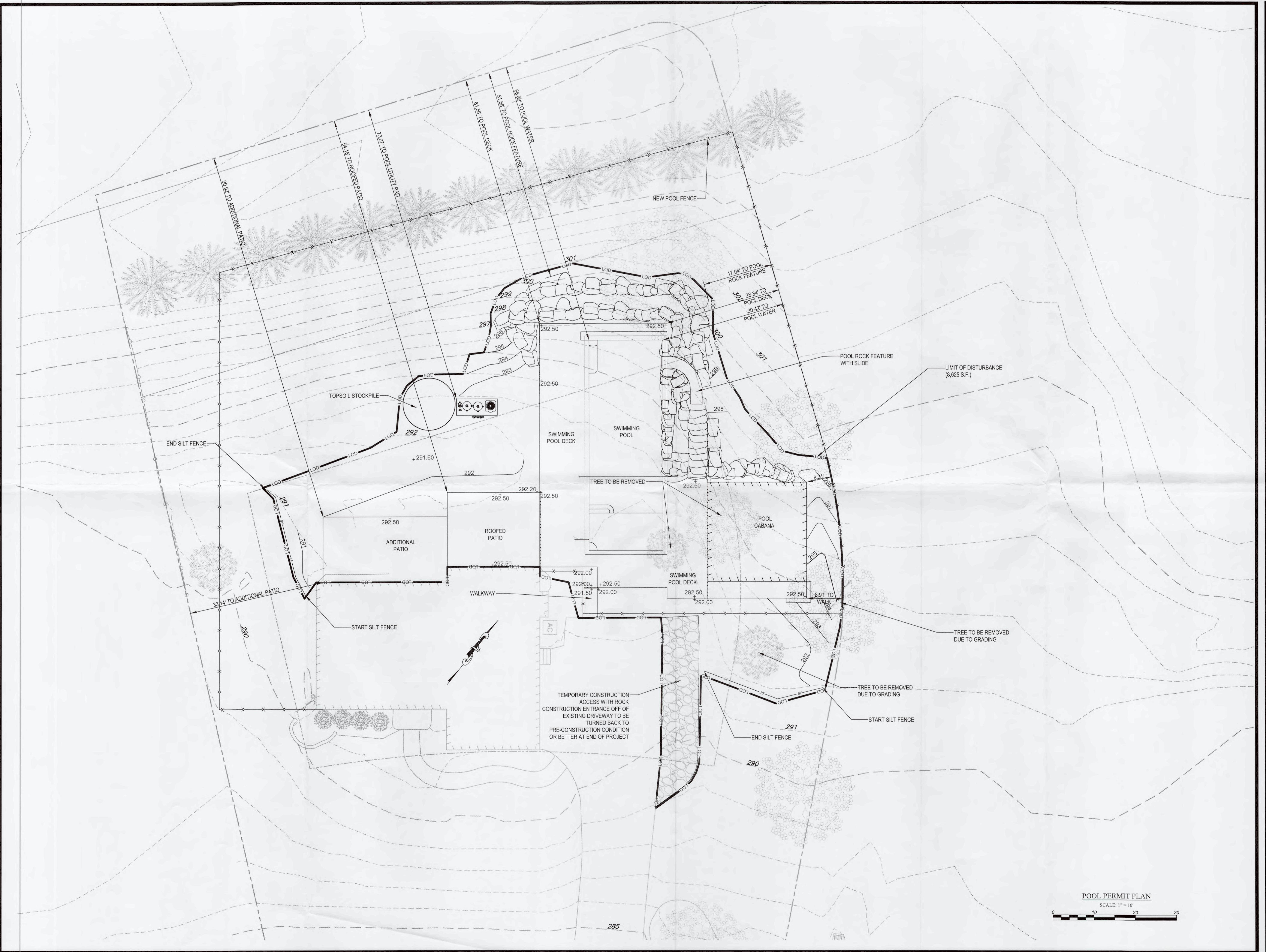
DATE: 12/12/2025
PROJECT NO: AR1008-0628200-25013589
FOLDER NAME: CAD
CAD DWG FILE: Plan Sheets.dwg
DRAWN BY: PJK
CHECKED BY: RKC
SCALE: AS SHOWN

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POOL PERMIT PLAN

POOL PERMIT PLAN
SCALE: 1" = 10'
0 10 20 30

C-101

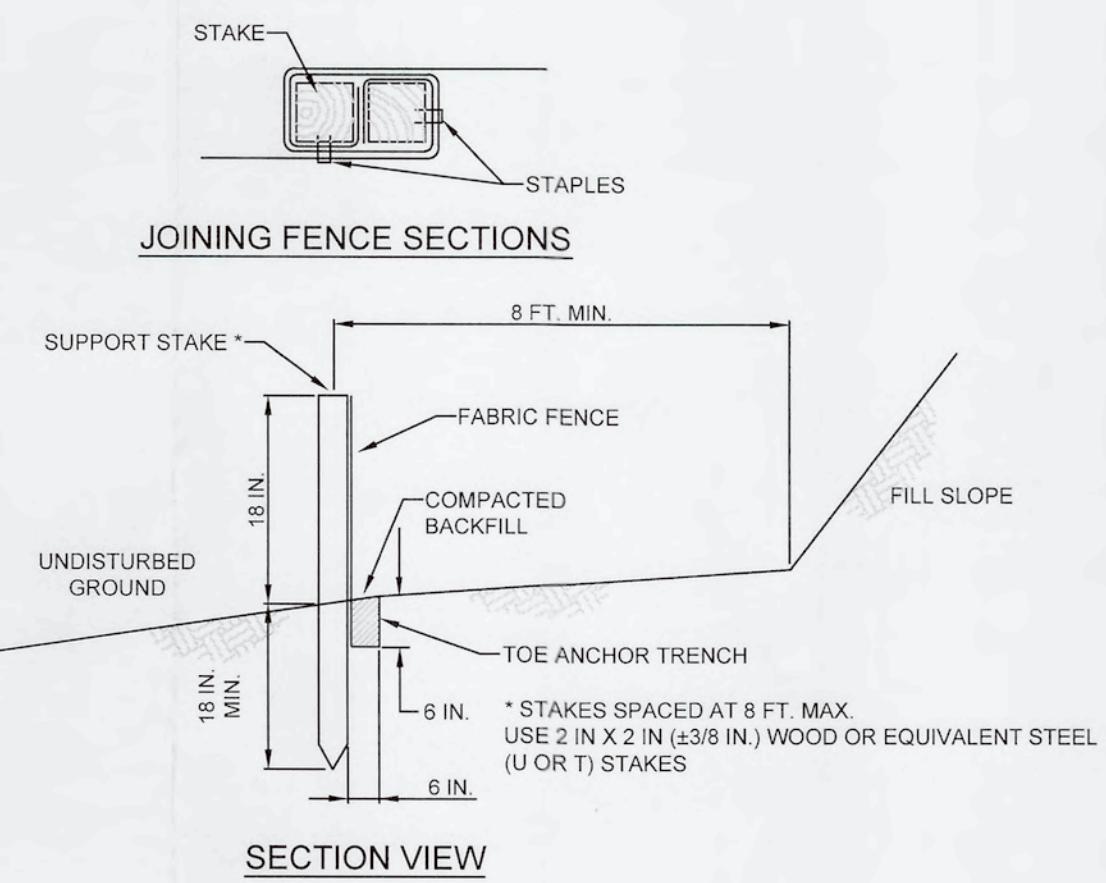
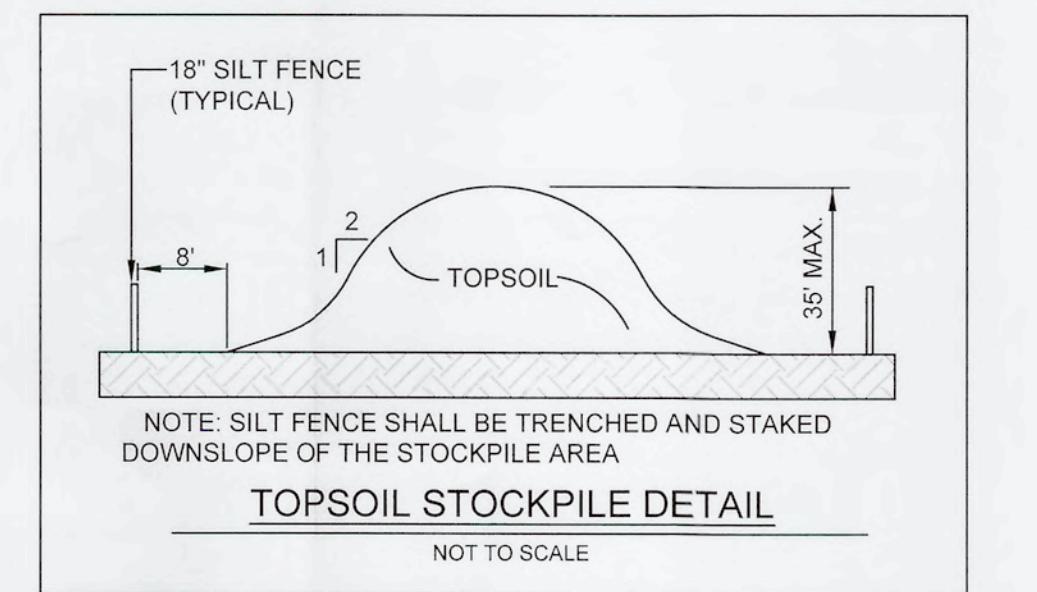




Apex Companies, LLC
83 East 5th Avenue,
Suite 2
Everett, Pennsylvania 15537
Phone: (814) 652-1039
www.apexcos.com

STEPHEN & LISA SCHAFER
1396 German Lane
Blue Bell, Pennsylvania 19422
Parcel ID: 66-00-00848-04-9
Whitpain Township
Montgomery County, Pennsylvania

POOL PERMIT PLAN



NOTES:
FABRIC SHALL HAVE THE MINIMUM PROPERTIES AS SHOWN IN TABLE 4.3 OF THE PA DEP EROSION CONTROL MANUAL.
FABRIC WIDTH SHALL BE 30 IN. MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL (U OR T) STAKES.
SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.
SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE.
ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERRUNNED OR TOPPED SHALL BE IMMEDIATELY REPLACED.
FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

EROSION & SEDIMENTATION CONTROL NOTES:

- Erosion and sedimentation controls must be constructed, stabilized and functional before site disturbance within the tributary areas of these controls.
- After final site stabilization has been achieved, temporary erosion and sedimentation controls must be removed. Areas disturbed during removal of the controls must be stabilized immediately.
- Filter fabric fence must be installed at level grade. Both ends of each fence section must extend at least ten feet upslope at 45 degrees to the main fence alignment.
- Sediment must be removed when accumulations reach half the above ground height of the fence.
- Any fence section which has been undermined or topped must be immediately replaced with a rock filter outlet. See Rock Filter Outlet detail.
- Stockpile heights must not exceed 35 feet. Stockpile slopes must be 2:1 or flatter.
- Any disturbed area on which activity has ceased, must be stabilized immediately in accordance with permanent seeding specification. During non-germinating periods, mulch must be applied at the recommended rates.
- Diversion channels, sedimentation basins, sedimentation traps and stockpiles must be stabilized immediately.
- Hay or straw mulch must be applied at rates of at least 3.0 tones per acre.
- Until the site is stabilized, all erosion and sedimentation controls must be maintained properly. Maintenance must include inspections of all erosion and sedimentation controls after each runoff event and on a weekly basis. All preventive and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, mulching and retenting, must be performed immediately.
- Should unforeseen erosive conditions develop during construction, the contractor shall take action to remedy such conditions and to prevent damage to adjacent properties as a result of increased runoff and/or sediment displacement. Stockpiles of wood chips, hay bales, crushed stone and other mulches shall be held in readiness to deal immediately with emergency problems of erosion.
- The contractor is advised to become thoroughly familiar with the provisions of Appendix 64, Erosion Control Rules and Regulations, Title 25, Part 1, Department of Environmental Protection.
- Protection to existing trees and shrubs shall be taken by the contractor to eliminate unnecessary damage.
- Any bare-earth areas where earth moving has ceased must be permanently stabilized immediately.
- All swales shall be protected with erosion control blankets.

TEMPORARY SEEDING:

Lime: 190 LBS/1000 SF
Ground limestone incorporated 4 inches into soil

Fertilizer: 25 LBS/1000 SF
10-20-20 incorporated 4 inches into soil

Seed: 1.0 LBS/1000 SF
Annual Ryegrass

Mulch: 140 LBS/1000 SF
Straw Mulch

Minimum standard for limestone and fertilizer:
Limestone shall be applied at a rate of 1 ton per acre.
Fertilizer shall be applied at a rate of:
Nitrate Nitrogen: 30 LBS/Acre average
Phosphorous: 100 LBS/Acre average
Potassium: 120 LBS/Acre average

PERMANENT SEEDING:

Lime: 190 LBS/1000 SF
Ground limestone incorporated 4 inches into soil

Fertilizer: 25 LBS/1000 SF
10-20-20 incorporated 4 inches into soil

Seeding: Lawn and mowed areas: Kentucky Bluegrass - 30 LBS/AC
Redtop - 3 LBS/AC
Perennial Ryegrass - 20 LBS/AC
Total Seeding = 53 LBS/AC

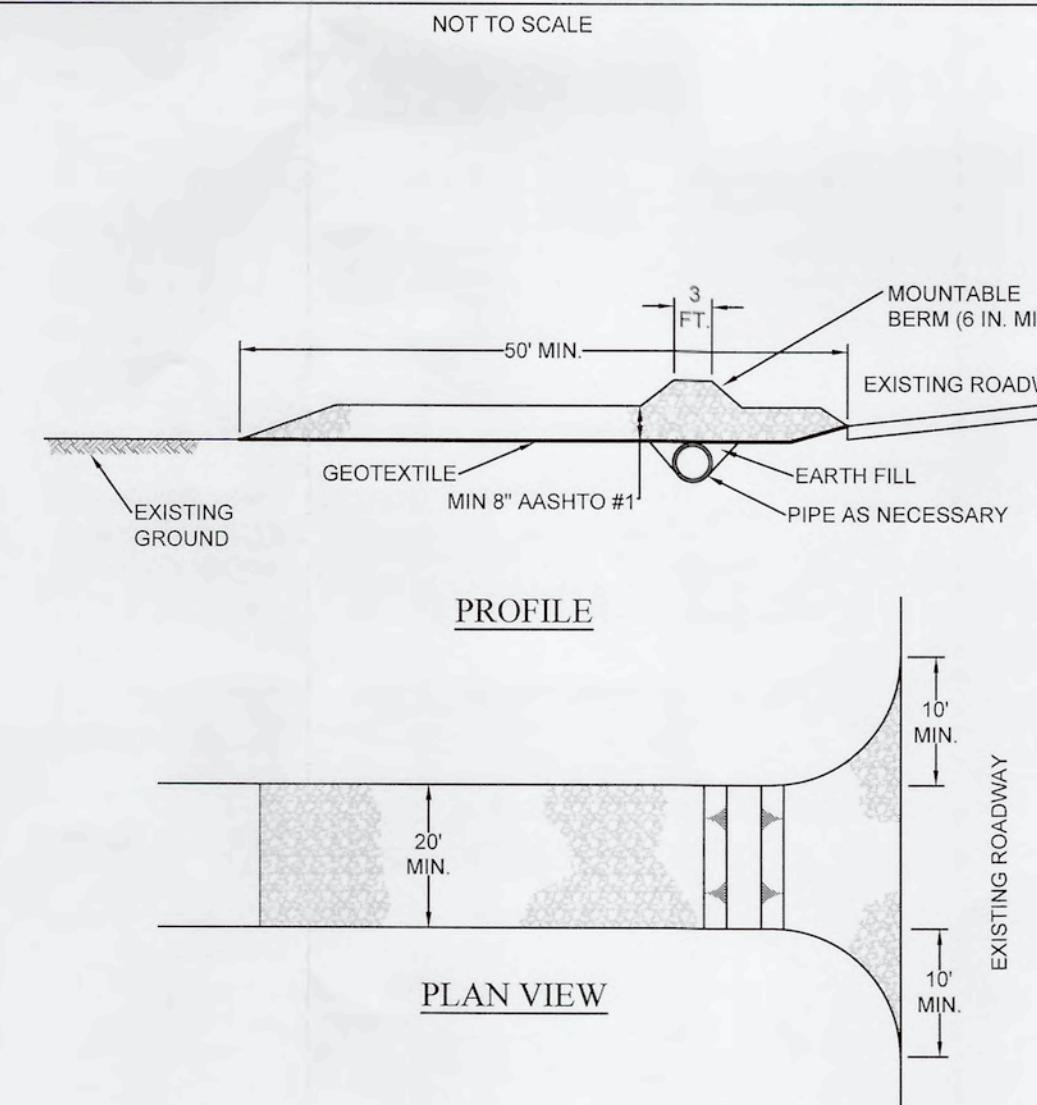
OR

Pennlawn-Fine Fescue - 40 LBS/AC
Redtop - 3 LBS/AC
Perennial Ryegrass - 20 LBS/AC
Total Seeding = 63 LBS/AC

Slopes or unmowed areas: Crown Vetch - 25 LBS/AC
Perennial Ryegrass - 25 LBS/AC
Total Seeding = 50 LBS/AC

Planting Date: March 1st to May 15th and August 1st to October 1st.
Mulch straw at a rate of 140 LBS/1000 SF. Mulch shall be secured by approved methods.

STANDARD CONSTRUCTION DETAIL #4-7
STANDARD SILT FENCE (18" HIGH)



NOTES:
* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE
REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONSTRUCTION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE

NOT TO SCALE

| NO. | DATE | REVISION | ADDRESS/EMAIL/REVIEW COMMENTS |
|-----|------------|----------|-------------------------------|
| 1 | 01/14/2026 | | |

PROFESSIONAL SEAL

RYAN K. CLARK
ENGINEER
PE-07372
JANUARY 14, 2026

DATE: 12/12/2025
PROJECT NO: ARI008-062820-25013589
FOLDER NAME: CAD
CAD DWG FILE: Plan Sheets.dwg
DRAWN BY: PJK
CHECKED BY: RKC
SCALE: AS SHOWN

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POOL PERMIT PLAN

C-102

